



Town of Johnstown

PLANNING & ZONING COMMISSION REGULAR MEETING

450 S. Parish, Johnstown, CO
Wednesday, August 23, 2023 at 7:00 PM

MISSION STATEMENT: Enhancing the quality of life of our residents, businesses, and visitors through community focused leadership.

AGENDA

CALL TO ORDER

ROLL CALL

APPROVAL OF AGENDA

APPROVAL OF MINUTES

1. Minutes of July 26, 2023

PUBLIC COMMENTS - Regarding items and issues not included as a Public Hearing on this Agenda (limited to 3 minutes each)

NEW BUSINESS

2. Public Hearing and Consideration of Preliminary/Final Subdivision and Development Plans for Southridge PUD
3. Public Hearing and Consideration of a Preliminary Plat and Development Plan for Revere North

DEPARTMENTAL REPORT

COMMISSIONER REPORTS AND COMMENTS

ADJOURN

AMERICANS WITH DISABILITIES ACT NOTICE

In accordance with the Americans with Disabilities Act and other applicable laws, persons who need accommodation in order to attend or participate in this meeting should contact Town Hall at 970-587-4664 no later than 48 hours before the meeting in order to request such assistance.

De conformidad con la Ley de Discapacitados Estadounidenses y otras leyes vigentes, los individuos que necesitan adaptaciones funcionales para asistir o participar en esta reunión deberán comunicarse con la Municipalidad marcando el 970 587- 4664 a lo más tardar 48 horas antes de dicha reunión para solicitarla.

The Community That Cares

johnstown.colorado.gov

P: 970.587.4664 | 450 S. Parish Ave, Johnstown CO 80534 | F: 970.587.0141



PLANNING & ZONING COMMISSION REGULAR MEETING

7:00 PM, Wednesday, July 26, 2023

SUMMARY MINUTES

The meeting was called to order by Chair Grentz at 7:00 P.M. Roll call attendance was taken. Present were Commissioners Campbell, Hatfield, Hayward, Jeanneret, Urban, and Chairman Grentz. Flores and Hayward were absent and excused.

Agenda was approved 5/0.

Minutes of the regular meetings held on June 28, 2023, were approved unanimously.

No general public comment.

The Public Hearing for **Final Subdivision for The Ridge Filing No. 3 Subdivision**, was opened. Kim Meyer, Director of Planning & Development, presented a presentation and overview of the proposed subdivision in The Ridge PUD south of CR 18 along the Frontage Road. Commissioners inquired about the definition of a lot, outlot and tract, which Meyer clarified. Meyer noted this is an interim subdivision that would permit the transfer of property and initiation of construction, and additional review is in process for the remainder of the build-out of this PUD, to be title The Ridge Filing No 4; final improvements will be required prior to any Certificates of Occupancy issued.

Jon Sweet, TST Engineers, represented the Applicant and was available to answer any questions. Commission had no questions. No public comment was received.

M: Hatfield / 2nd : Jeanneret

Vote: 5/0 to Recommend Approval

The Public Hearing for **Final Subdivision & Development Plan for The Row Townhomes at 2534 (Aliversa)** was opened. Kim Meyer, Director of Planning & Development, presented a presentation and synopsis of the proposed 2.1-acre subdivision for townhomes in the 2534 PUD. Commissioners inquired about neighboring uses, fire access, and noted the attractive architecture.

Nico Campana, the Applicant was available to answer questions but provided no additional presentation. The Commissioners had no questions for the Applicant. No Public comment received.

M: Jeanneret / 2nd: Grentz

Vote: 5/0 to Recommend Approval

Kim Meyer provided a brief department, welcomed the new PZC commissions Urban and Jeanerret who had taken their oaths of office earlier in the week with the Town Cler, and introduced the Town's new planning staff. Next PZC meeting is expected mid or end of August, depending on the readiness of agenda items. Please let Staff know if you have upcoming travel plans that may interfere.

Town Staff in attendance: Kim Meyer, Lilly Cory, Tyler Smith

Commissioners had no reports but asked an array of procedural, conduct, and general process questions. Meyer indicated there is some training intended for the commission and Staff will work on making that available to the full commission. Meeting was adjourned.

Respectfully Submitted
Kim Meyer, Director

Accepted by Chair:





Town of Johnstown

PLANNING & ZONING COMMISSION STAFF ANALYSIS REPORT

ITEM: Public Hearing and Consideration of the Preliminary/Final Subdivision Plat and Preliminary/Final Development Plan for South Ridge

PROJECT NO: SUB22-0012

PARCEL NOs: 8526000003, 8526000003

DESCRIPTION: Preliminary/Final Subdivision for a Single Family residential community consisting of 308 single family lots on approximately 78.07 acres.

LOCATION: West of Larimer County Rd 3E, north of Larimer County Rd 16

OWNER: Southridge HoldCO, LLC

APPLICANT: Journey Homes, LLC

STAFF: Tyler Smith, Planner II

HEARING DATE: August 23, 2023

ATTACHMENTS

1. Vicinity Map
2. Preliminary/Final Plat
3. Preliminary/Final Development Plan
4. Architectural Elevations
5. Outline Development Plan (ODP)

EXECUTIVE SUMMARY

The Applicant, Southridge HoldCO, LLC., requests the approval of a Preliminary/Final Plat and Preliminary/Final Development Plan for a single-family development. The applicant proposes single family detached homes for this site. The development plan/Plat will create 308 Lots. The subdivision will also plat 10 commonly-owned outlots for easements, landscaping, open space, parks, guest parking and stormwater facilities (Attachment 2). The Ridge Subdivision Filing No. 2 is located directly to the north. The south, east and west are currently in Larimer County and zoned for agriculture (Attachment 1).

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EXISTING ZONING: South Ridge PD

ADJACENT ZONING & LAND USE:

North: The Ridge PD - The Ridge Filing 2 single family subdivision

East: Larimer County - Agriculture

South: Larimer County - Agriculture

West: Larimer County - Agriculture

Floodplain: FIRM Panel: 08069C1405G (1/14/2021)
Zone X – Area of Minimal Flood Haard

Oil & Gas: One “Abandoned Location” well – never drilled.

Ditches: One irrigation lateral exists on the property and will be realigned and piped to ensure ongoing access to water rights for adjacent properties.

PROPERTY LAND USE HISTORY

The property comprising the South Ridge Subdivision was annexed into the Town of Johnstown in 2022 under Ordinance 2022-228. The Southridge Outline Development Plan (ODP) was approved concurrently with the annexation in 2022 (Attachment 5). The land was historically used as a farm, with a single family home on the property, now unoccupied.

SUBMITTAL AND REFERRALS

This project submittal included the proposed subdivision and development plan sets, as well as full engineering plans and reports (i.e., traffic, grading, drainage, soils, utility, water) for the site.

The project was referred to and reviewed by:

- Johnstown Public Works & Utilities Departments
- Felsburg Holt & Ullevig (Town Traffic Engineer)
- Helton & Williamsen (Water Engineer)
- IMEG (Town Engineer)
- FRFR (Fire District)
- Thompson School District
- Little Thomspon Water District

PROJECT DESCRIPTION & ANALYSIS

The proposed 78.07-acre subdivision would create a residential development consisting of 308 single family homes, composed of eleven different elevations. (Attachment 4) The subdivision is proposing to plat ten outlots totaling 17.9 (22.9%) acres for easements, landscaping, open space, detention, and pedestrian access (Attachment 3). The project falls within the prior PUD ordinances, which require 30% of the gross acreage be committed to open space and park areas, which is also noted within the approved Outline Development Plan (ODP) (Attachment X). Additional open space will be required prior to presentation to Town Council, and is included as a recommended condition of approval.

The subdivision provides two typical lot sizes 103 lots (33%) are proposed as 63' x 100' (6,300 s.f.) and the remaining 205 lots (67%) as 53' x 100' (5,300 s.f.). The single-family homes within the neighborhood are all traditional homes with at least a two car garage, and full size driveway. The development includes a 4.7-acre park in the center of the community and has pedestrian trail connecting to the Ridge community to the north. Outlots will contain requisite access, drainage, emergency, maintenance and utility easements and open space. Common open space areas are provided throughout the development and provide community activities for residents and adjacent/future residents. As noted, additional open space is needed prior to proceeding to Council review.

The development will contain a mixture of landscape materials, including small areas of irrigated turf, rock and wood mulch, and native grass. The outlots will be open space areas and will be irrigated and maintained by a homeowners association or the metro district. The streetscapes along Larimer County Road 3E and Elsie Drive will have landscaping and sidewalks adjacent to the road. Landscaping will be installed for these streetscapes with this development.

Overall, Staff has no significant outstanding concerns with this development and believes it will promote the Town's goals of housing type diversity, walkable neighborhoods, efficient development patterns and logical extension of infrastructure. On a neighborhood level, it will activate and support the adjacent ridge Community, which is designed for a variety of compatible land uses, including residential. Ongoing review of currently engineering plans and technical studies continues at the staff level and will be complete and revisions integrated into final plans prior to presentation to Town Council.

PUBLIC NOTICE

Notice for the Planning & Zoning Commission hearing was published in the Johnstown Breeze, on Thursday, August 10, 2023. This notice provided the date, time, and location of the Planning and Zoning Commission hearing, as well as a description of the project. Notices were mailed to all property owners within 800 feet of the property in question. This notice included a vicinity map and the proposed subdivision map.

No neighborhood meeting was required. No public comments have been received by Staff as of the date of publication of this report.

RECOMMENDED FINDINGS, CONDITIONS, AND MOTIONS

Recommended Findings

It is recommended that Planning and Zoning Commission send a recommendation for Approval to Town Council, that the requested Preliminary/Final Plat and Preliminary/Final Development Plan for the South Ridge Subdivision be approved based upon the following findings, and with the proposed conditions of approval:

1. The proposed subdivision is consistent with the Johnstown Comprehensive Plan.
2. The proposed subdivision is in substantial compliance with the applicable South Ridge PUD Outline Development Plan, Town's codes, regulations, and requirements.
3. The proposed subdivision will meet the needs of the community by providing diverse single-family housing. This type of development features an appropriately housing layout which is consistent with surrounding area and is also compatible with adjacent development and surrounding land uses and will not detract from existing land uses.

Recommended Conditions of Approval:

1. Development shall be redesigned to ensure accommodation of minimum of 30% open space, per ODP and Town code, based upon gross land area of 78.07 acres, resulting in 23.4 acres throughout the neighborhood.
2. Development shall receive town approvals on all engineering and technical documents, and incorporate all necessary revisions in the plat and plans, prior to proceeding to Town Council.

Recommended Motion to Approve with Conditions:

Based on the application received, information provided at this hearing, and findings noted, I move that the Planning & Zoning Commission recommend to the Town Council Approval of the Preliminary/Final Plat and Preliminary/Final Development Plan for South Ridge Subdivision, with the noted conditions of approval.

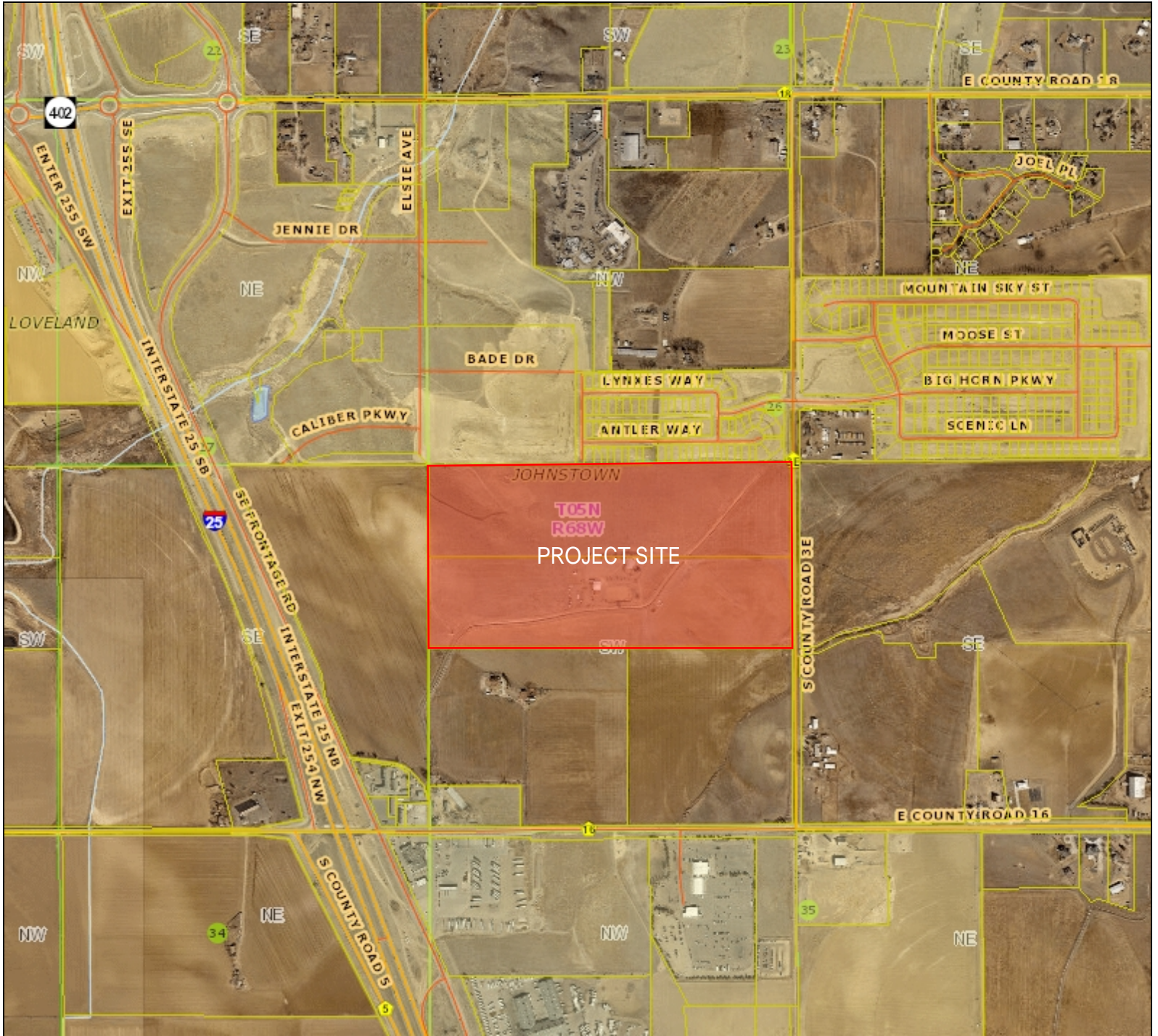
Alternative Motion:

Motion to Recommend Denial

I move that the Commission recommend to the Town Council Approval of the Final Plat and Final Development Plan for The Row Townhomes, based on the following findings:



Larimer County Web Map



Legend		
Tax Parcels	Incorporated Areas	COLARI21-SID-LTD-2INCH.sid
Railroads	PLSS Township and Range	Red: Band_1
Major Road System	PLSS Sections	Green: Band_2
Road System	PLSS Quarter Sections	Blue: Band_3
Lakes and Ponds	City or Town	COLARI21-SID-AW-6INCH.sid

Notes



Scale
1: 12,000



This map was created by Larimer County GIS using data from multiple sources for informal purposes only. This map may not reflect recent updates prior to the date of printing. Larimer County makes no warranty or guarantee concerning completeness, accuracy, or reliability of the content represented.

DRAFT

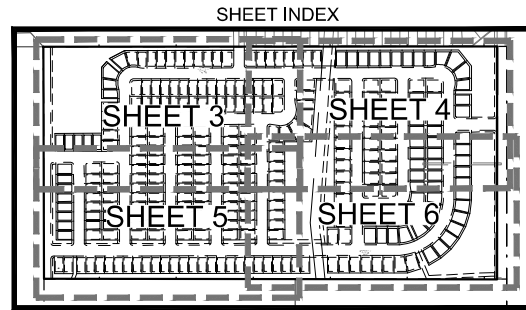
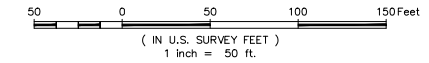
06-14-2023

PRELIMINARY - NOT FOR CONSTRUCTION,
RECORDING PURPOSES OR IMPLEMENTATION

Robert C. Tessey
Registered Professional Land Surveyor
Colorado Registration No. 38470
For and on behalf of Northern Engineering Services, Inc.

SOUTHRIDGE SUBDIVISION

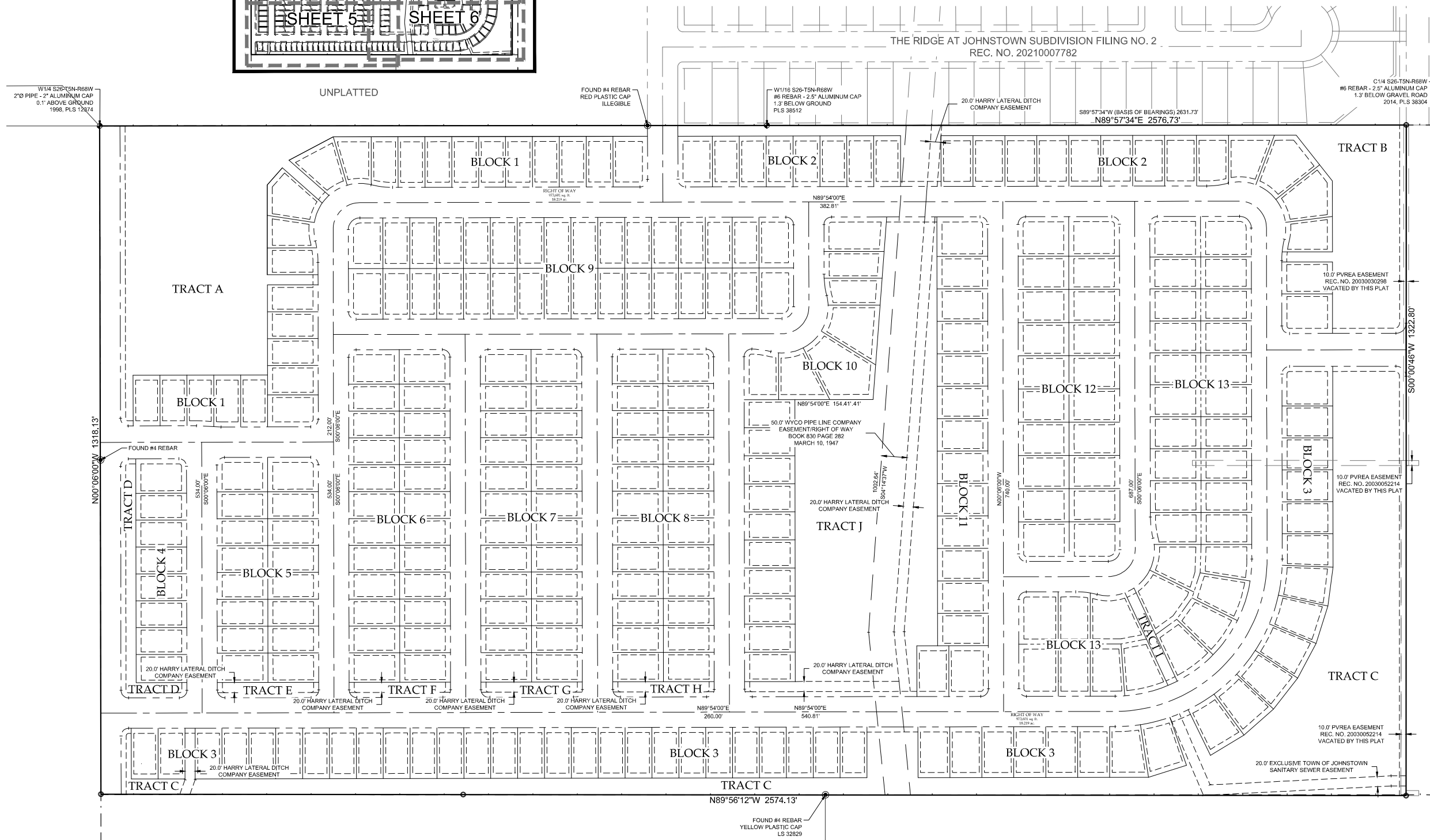
A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 26,
RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF LARIMER, STATE OF COLORADO



ALL LOTS HAVE 10.00' UTILITY, DRAINAGE, AND ACCESS EASEMENTS BEING DEDICATED ALONG THE REAR LOT LINE OF EACH LOT, AND ALONG ANY LOT LINES THAT ADJOIN STREET RIGHT-OF-WAY.

ALL LOTS HAVE 5.00' UTILITY, DRAINAGE, AND GRADING EASEMENTS BEING DEDICATED ALONG ANY SIDE LOT LINES THAT DO NOT ADJOIN STREET RIGHT-OF-WAY.

EASEMENT AREA AVAILABLE FOR USE TO OWNERS, LANDSCAPING IS ALLOWED WITHIN EASEMENT AREA. NO PERMANENT STRUCTURES OR IMPROVEMENTS ARE ALLOWED WITHIN EASEMENT AREA.



NORTHERN ENGINEERING
SURVEY | MUNICIPAL | LAND DEVELOPMENT
970.881.4188
nort@northerneng.com

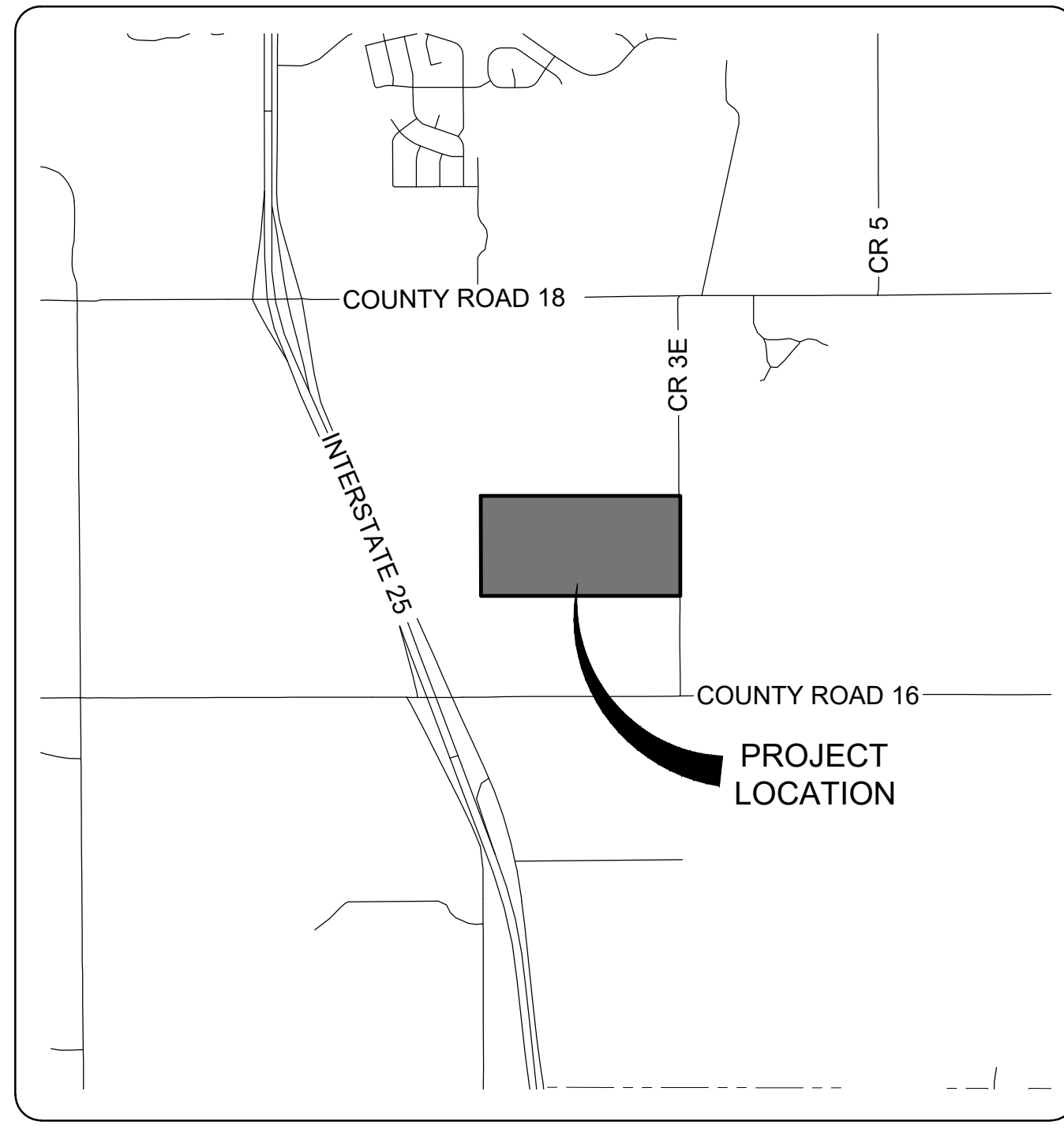
DATE:	06/14/2023
PROJECT:	1155-507
CLIENT:	JOURNEY HOMES
DRAWN BY:	S. PAQUIN
REVIEWED BY:	R. TESSELY
SCALE:	1" = 50'

SOUTHRIDGE SUBDIVISION
PART OF THE SOUTHWEST QUARTER OF SECTION 26
TOWNSHIP 5N, RANGE 68W, COUNTY OF LARIMER, STATE OF COLORADO

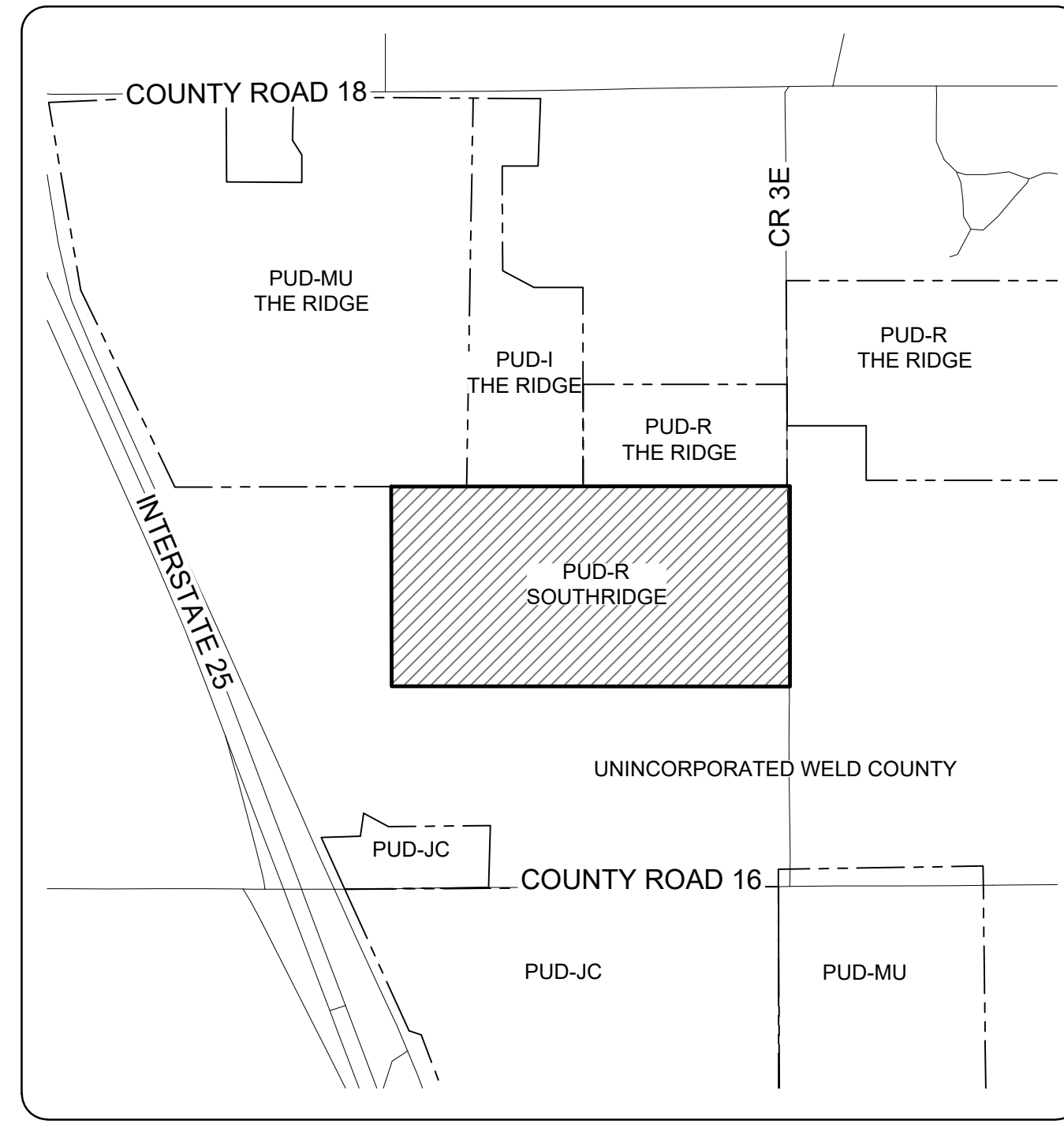
FINAL DEVELOPMENT PLAN

SOUTHRIDGE SUBDIVISION

A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 5 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF LARIMER, STATE OF COLORADO



VICINITY MAP
1"=2000'



ZONING MAP
1"=1000'

SHEET INDEX

1	C000	COVER SHEET
2	C100	FINAL DEVELOPMENT PLAN DEVELOPMENT STANDARDS
3	C200	SITE PLAN
4	L1	LANDSCAPE NOTES & SCHEDULES
5	L2	LANDSCAPE PLAN
6-9	L3 - L6	LANDSCAPE ENLARGEMENTS
10-12	A1 - A3	ARCHITECTURAL ELEVATIONS

GENERAL LAND USE SUMMARY

TOTAL SITE ACREAGE	79.74 AC	100%
TOTAL RIGHT-OF-WAY	19.88 AC	24.9%
53 X 100	205 LOTS	
63 X 100	103 LOTS	
TOTAL LOT AREA	42.0 AC	52.7%
PARK AREA	8.3 AC	10.4%
OPEN SPACE AREA ¹	17.9 AC	30.0%

¹THIS CALCULATION INCLUDES THE PARK AREA (8.3 AC) AND THE PERCENTAGE TOTAL IS TAKEN EXCLUSIVE OF THE ROW ACREAGE ON-SITE

LEGAL DESCRIPTION

A PARCEL OF LAND BEING THAT PORTION OF THE SOUTHWEST QUARTER (SW1/4) OF SECTION TWENTY-SIX (26), TOWNSHIP FIVE NORTH (T.5N.), RANGE SIXTY-EIGHT WEST (R.68W.) OF THE SIXTH PRINCIPAL MERIDIAN (6TH P.M.), COUNTY OF LARIMER, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE WEST QUARTER CORNER OF SECTION 26 AND ASSUMING THE NORTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 26 AS BEARING NORTH 89° 57' 34" EAST A DISTANCE OF 2631.73 FEET AND BEING MONUMENTED BY A 2" DIAMETER PIPE WITH A 2" DIAMETER ALUMINUM CAP, STAMPED "PLS 12374," ON THE WEST AND BEING MONUMENTED BY A NO. 6 REBAR WITH A 2.5" DIAMETER ALUMINUM CAP STAMPED "PLS 38304" ON THE EAST WITH ALL OTHER BEARINGS CONTAINED HEREIN RELATIVE THERETO;

THENCE NORTH 89° 57' 34" EAST A DISTANCE OF 2631.73 FEET TO THE CENTER QUARTER CORNER OF SAID SECTION 26

THENCE SOUTH 00° 00' 46" WEST ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 26 A DISTANCE OF 1322.90 FEET;

THENCE NORTH 89° 56' 12" WEST A DISTANCE OF 2629.13 FEET TO THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 26;

THENCE NORTH 00° 06' 06" WEST ALONG SAID WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 26 A DISTANCE OF 1318.13 FEET TO THE WEST QUARTER CORNER OF SAID SECTION 26 AND TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 3,473,516 SQUARE FEET, OR 79.74 ACRES, MORE OR LESS (±).

NARRATIVE

THE INTENT OF THIS FINAL DEVELOPMENT PLAN (FDP) IS TO PROVIDE AN OVERVIEW OF THE PROPOSED RESIDENTIAL DEVELOPMENT. THE CURRENT PROPERTY IS ZONED AS PLANNED UNIT DEVELOPMENT RESIDENTIAL DISTRICT (PUD-R). THE PROPERTIES TO THE NORTH ARE ALSO ZONED PUD-R & MU AND UNINCORPORATED LARIMER COUNTY SURROUNDING THE REMAINING PROJECT SITE.

THE PROJECT IS PROPOSED FOR 308 +/- SINGLE FAMILY HOME LOTS (53' X 100' AND 63' X 100') AND APPROXIMATELY 17.9 ACRES OF OPEN SPACE. THE OPEN SPACE WILL INCLUDE A CENTRALLY LOCATED PARK, LANDSCAPING, GREEN SPACE WITH TRAIL CONNECTIVITY AND DETENTION.

THIS DEVELOPMENT WILL PROVIDE SEVERAL CONNECTIONS TO ADJACENT ROADS AND PROPERTIES. ACCESS TO THE SITE WILL BE TO S COUNTY ROAD 3E FROM THE EAST AND TWO ROAD CONNECTIONS TO THE NORTH FROM BEARBERRY LANE AND ELSIE AVENUE. THESE ACCESS POINTS ARE PLANNED WITH THE RIDGE AT JOHNSTOWN 2ND SUBDIVISION AND THE RIDGE APARTMENTS TO THE NORTH OF THE PROJECT SITE.

THIS PROPOSED DEVELOPMENT WILL BE BENEFICIAL TO JOHNSTOWN AS THE TOWN CONTINUES TO GROW AND DEVELOP TO THE NORTH. THIS PROJECT WILL FULFILL A NEED FOR SINGLE-FAMILY AFFORDABLE HOUSING AND EXTENSION OF HOMES FROM THE MULTI-FAMILY AND SINGLE-FAMILY DEVELOPMENTS TO THE NORTH.

ADMINISTRATIVE / TECHNICAL ACCEPTANCE

TOWN OF JOHNSTOWN

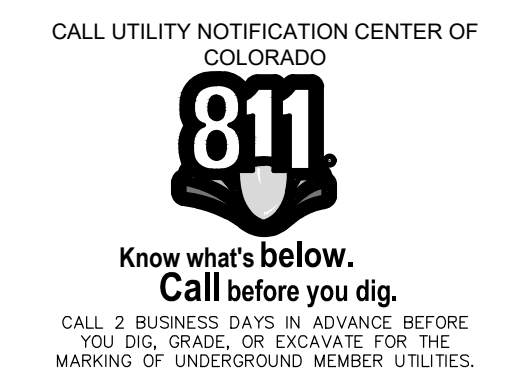
REVIEWED AND ACCEPTED: _____ DATE _____
TOWN REVIEWING ENGINEER / IMEG

REVIEWED AND ACCEPTED: _____ DATE _____
DIRECTOR OF PLANNING AND DEVELOPMENT

REVIEWED AND ACCEPTED: _____ DATE _____
TOWN ENGINEER

LOVELAND FIRE RESCUE AUTHORITY

REVIEWED AND ACCEPTED: _____ DATE _____



CAUTION
The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes must be approved by the Professional Engineer of these plans.

SCALE:
HORIZ: N/A
VERT: N/A

SHEET:

1 OF 12

COUNCIL APPROVAL

THIS DEVELOPMENT PLAN WAS APPROVED BY THE TOWN COUNCIL OF THE TOWN OF JOHNSTOWN, BY RESOLUTION 2023-_____, AT A REGULAR MEETING OF THE COUNCIL ON _____, 2023.

Item 2

REVISIONS

NO. BY: DATE:

AVANT CIVIL GROUP
1337 RIVERSIDE AVE #2
FORT COLLINS, CO 80524
970.286.7865
AVANTCIVILGROUP.COM

SOUTHRIDGE SUBDIVISION

COVER SHEET

PROJECT MANAGER: R. LAUER

SUBMITTAL DATE: 6/9/2023

FDP DEVELOPMENT STANDARDS

1. RESIDENTIAL PRINCIPAL USES

- 1.1. SINGLE FAMILY DETACHED DWELLINGS

2. PUBLIC PARKS AND RECREATION AREAS

- 2.1. PUBLIC RECREATION

3. RESIDENTIAL PERMITTED ACCESSORY USES

- 3.1. PRIVATE GARAGES AND PAVED PARKING AREAS
- 3.2. PRIVATE RESIDENTIAL AND PRIVATE GROUP OUTDOOR RECREATIONAL FACILITIES
- 3.3. HOME OCCUPATIONS, SUBJECT TO THE LIMITATIONS LISTED IN THE TOWN OF JOHNSTOWN ZONING CODE, AND LIMITED IN THAT USES SHALL BE CONDUCTED ENTIRELY WITHIN THE DWELLING, NO ADVERTISING IS DISPLAYED ON THE PREMISES AND NO EXTERIOR STORAGE IS CREATED
- 3.4. SERVICE BUILDINGS AND FACILITIES NORMALLY INCIDENTAL TO THE USE OF A PARK OR RECREATION AREA
- 3.5. ANY OTHER STRUCTURE OR USE CLEARLY INCIDENTAL TO AND COMMONLY ASSOCIATED WITH THE OPERATION OF A PRINCIPAL USE PERMITTED BY RIGHT

4. OPEN SPACE PRINCIPAL USES

- 4.1. PUBLIC OR PRIVATE PARKS AND RECREATION AREAS
- 4.2. PUBLIC, PRIVATE, COMMERCIAL AND PRIVATE GROUP OUTDOOR RECREATIONAL FACILITIES
- 4.3. BUFFERS
- 4.4. TRAILS
- 4.5. NATIVE AREAS
- 4.6. WILDLIFE HABITAT

5. SOUTHRIDGE DESIGN REVIEW COMMITTEE

- 5.1. THE PURPOSE OF THE DRC IS TO ENSURE PROPOSED DEVELOPMENTS MEET THE STANDARDS AS ESTABLISHED IN THE DESIGN GUIDELINES IN ORDER TO MAINTAIN A CONSISTENCY OF PLANNING AND DESIGN FOR THE ENTIRE PROJECT. THE SOUTH RIDGE DESIGN GUIDELINES LEGALLY APPLY TO ALL LAND THAT IS PART OF SOUTH RIDGE, REGARDLESS OF OWNERSHIP, AND ARE IN ADDITION TO THE ZONING AND LAND USE REGULATIONS OF LOCAL GOVERNMENT. THE DESIGN GUIDELINES AND SUPPORTING DOCUMENTS ARE ADMINISTERED AND ENFORCED BY THE DRC, WHICH SHALL CONSIST OF THE FOLLOWING FIVE MEMBERS: ONE CIVIL ENGINEER WITH A MINIMUM OF TEN YEARS OF EXPERIENCE IN LAND PLANNING OR DEVELOPMENT, ONE LANDSCAPE ARCHITECT/ARCHITECT/PLANNER WITH A MINIMUM OF TEN YEARS OF EXPERIENCE IN LAND PLANNING OR DEVELOPMENT, TWO SOUTH RIDGE DEVELOPMENT PROPERTY OWNERS AND ONE REPRESENTATIVE FROM A COMMERCIAL REAL ESTATE BROKERAGE OR DEVELOPMENT COMPANY WITH A MINIMUM OF TEN YEARS OF EXPERIENCE.

6. LANDSCAPE DESIGN PRINCIPLES

- 6.1. PROVIDE BIODIVERSITY THAT RELATES TO THE AREA'S NATURAL SYSTEMS.
- 6.2. DESIGN TO PROVIDE AN ATTRACTIVE, COMFORTABLE ENVIRONMENT FOR USERS WHILE MINIMIZING MAINTENANCE NEEDS, IRRIGATION WATER REQUIREMENTS AND THE USE OF HERBICIDES AND PESTICIDES.
- 6.3. USE ENVIRONMENTALLY FRIENDLY, "GREEN" MATERIALS WHERE POSSIBLE.
- 6.4. DESIGN LANDSCAPES TO CREATE A NATURALIZED APPEARANCE. USE PLANT MATERIALS THAT ARE INDIGENOUS TO NORTHERN COLORADO WHERE POSSIBLE. (SEE THE PLANT LIST IN THE APPENDIX). ONLY USE INTRODUCED SPECIES IN ORDER TO ACHIEVE DESIGN OBJECTIVES THAT CANNOT BE ACHIEVED WITH THE USE OF NATIVE SPECIES.
- 6.5. GROUP PLANT MATERIALS OF SIMILAR WATER NEEDS AND ARRANGE IN CONCENTRIC CIRCLES OR LAYER OF PROGRESSIVELY LESS WATER USE IN ORDER TO MAXIMIZE THE EFFICIENCY OF APPLIED IRRIGATION.
 - 6.5.1. PLANT SPECIES MORE SUSCEPTIBLE TO SUN, WIND & COLD TEMPERATURES IN SHELTERED AREAS.
 - 6.5.2. EVERGREEN TREES TO PROVIDE SHELTER FROM WINTER WINDS.
 - 6.5.3. SW FACING PLANTS SHOULD TOLERATE SUMMER HEAT & DRYING WINDS.
 - 6.5.4. EASTERN FACING AREAS ALLOW SOME SHELTER FROM SUN & WIND.
 - 6.5.5. DECIDUOUS TREES SHADE IN SUMMER AND LET LIGHT THROUGH IN WINTER.

7. LANDSCAPE GUIDELINES

- 7.1. AT LEAST 75% OF THE YARDS ADJACENT TO THE STREET WILL BE TREATED WITH LANDSCAPE MATERIALS. AT LEAST FOUR (4) SHRUBS WILL BE PLANTED ON EVERY LOT CONTAINING A ONE-FAMILY DWELLING. AT LEAST ONE (1) TREE OF ONE AND ONE-HALF (1-1/2) INCH CALIPER SHALL BE PROVIDED FOR EACH LOT OF 70 FOOT FRONTAGE OR LESS AND AT LEAST TWO (2) TREES FOR EVERY LOT IN EXCESS OF 70 FOOT FRONTAGE. FOR CORNER LOTS, THE SAME QUANTITIES SHALL BE REQUIRED FOR EACH STREET. THE TREES SHALL BE LOCATED SO AS NOT TO INTERFERE WITH SIGHT DISTANCES AT DRIVEWAYS AND/OR STREET INTERSECTIONS. TREES REQUIRED IN THE ADJACENT RIGHT-OF-WAY MAY NOT BE USED TO MEET THIS LOT STANDARD.
- 7.2. THE TREES AND SHRUBS WILL BE INSTALLED PRIOR TO CERTIFICATE OF OCCUPANCY UNLESS IT IS NOT PRACTICAL TO INSTALL THE LANDSCAPING PRIOR TO OCCUPANCY BECAUSE OF WEATHER OR OTHER NECESSARY DELAY, AS APPROVED BY THE PLANNING DEVELOPMENT DIRECTOR.

8. COMMON OPEN SPACE

- 8.1. COMMON OPEN SPACE AREAS WILL HAVE LIVE GROUND COVER OVER AT LEAST 75% OF THE AREA, UNLESS OTHERWISE APPROVED BY THE TOWN. BLUEGRASS IS NOT THE ONLY OPTION FOR THESE AREAS AND THE TOWN ENCOURAGES THE DEVELOPER TO PURSUE WATER SAVING GOALS AS LISTED IN SECTION H.12 OF THESE STANDARDS.
- 8.2. ALL GROUND COVER, ORNAMENTAL TURF AND TURF SHALL HAVE AN IRRIGATION SYSTEM THAT IS DESIGNED TO MEET THE NEEDS OF THE PLANTS AND THAT IS DESIGNED TO MEET TOWN STANDARDS. COMMON OPEN SPACE IN ONE-FAMILY SUBDIVISIONS OR PUDS OR PORTIONS OF SUBDIVISIONS OR PUDS CONTAINING ONE-FAMILY DWELLINGS SHALL BE LANDSCAPED AT A RATIO OF AT LEAST ONE (1) TREE AND FIVE (5) SHRUBS FOR EVERY 4,500 SQUARE FEET OF LANDSCAPED AREA.
- 8.3. UP TO 30% OF THE REQUIRED SHRUBS MAY BE SUBSTITUTED BY TREES AT THE RATE OF ONE (1) TREE FOR TEN (10) SHRUBS.
- 8.4. AT LEAST 50% OF THE TREES WILL BE OVERSTORY/SHADE DECIDUOUS SPECIES AND 25% OF THE TREES WILL BE CONIFEROUS SPECIES, WHERE APPROPRIATE
- 8.5. THE DEVELOPER SHALL HAVE ALL LANDSCAPING IMPROVEMENTS COMPLETED AND IN ACCEPTABLE CONDITION PRIOR TO THE TOWN'S CONSTRUCTION ACCEPTANCE OF PUBLIC IMPROVEMENTS AND PRIOR TO TURNING THE COMMON OPEN SPACE AREAS OVER TO A METRO DISTRICT FOR MAINTENANCE.
- 8.6. NO SINGLE TREE TYPE SHALL MAKE UP MORE THAN 25% OF ALL TREES

9. IRRIGATION SYSTEMS

- 9.1. ALL LANDSCAPE AREAS SHALL HAVE AN AUTOMATIC CLOCK-ACTIVATED IRRIGATION SYSTEM - LANDSCAPE AREAS WITHOUT AN IRRIGATION SYSTEM AND BEARING LIVE PLANT MATERIAL WILL REQUIRE TEMPORARY IRRIGATION UNTIL THE PLANTS ARE ESTABLISHED AND A RELIABLE WATER SOURCE SUFFICIENT TO SUSTAIN PLANT LIFE IS PROVIDED.
- 9.2. IRRIGATION SYSTEMS SHALL MEET THE FOLLOWING CRITERIA:
 - 9.2.1. ALL IRRIGATION SYSTEMS SHALL BE NON-POTABLE WHERE POSSIBLE AND COORDINATED WITH THE HOME OWNERS ASSOCIATION.
 - 9.2.2. ALL IRRIGATION SYSTEMS SHALL BE DESIGNED AND INSTALLED TO THE SPECIFICATIONS OF THE HOME OWNERS ASSOCIATION IRRIGATION GUIDELINES.
 - 9.2.3. ALL CONNECTIONS TO POTABLE WATER SYSTEMS SHALL BE EQUIPPED WITH A BACKFLOW PREVENTION DEVICE.
 - 9.2.4. PORTIONS OF IRRIGATION SYSTEMS MAY BE COMPRISED OF TEMPORARY IRRIGATION COMPONENTS TO IRRIGATE NATIVE AREAS IF THE TOWN DETERMINES THAT ALL OF THE FOLLOWING STANDARDS ARE MET. A CLEAR DESCRIPTION OF PROPOSED TEMPORARY IRRIGATION MUST BE PROVIDED ON THE LANDSCAPE PLAN AND APPROVED BY THE TOWN.
- 9.3. PLANT SELECTION, DESIGN, INSTALLATION SPECIFICATIONS AND SITE CONDITIONS COMBINE TO CREATE A MICROCLIMATE THAT WILL SUSTAIN THE PLANT MATERIAL IN A HEALTHY CONDITION WITHOUT REGULAR IRRIGATION AFTER THE PLANT ESTABLISHMENT PERIOD.
- 9.4. ALL PORTIONS OF THE LANDSCAPED AREA SERVED BY TEMPORARY IRRIGATION WILL BE WITHIN 150 FEET OF AN EXTERIOR WATER SOURCE TO ENABLE HAND WATERING DURING EXTENDED DRY PERIODS.
- 9.5. ABOVE GROUND TEMPORARY IRRIGATION SYSTEMS SHALL BE APPROVED ON A CASE-BY-CASE BASIS ONLY IF THE NATIVE AREA IS LARGE ENOUGH TO WARRANT THE USE. ABOVE GROUND SYSTEMS WILL BE THE RESPONSIBILITY OF THE DEVELOPER UNTIL THE LANDSCAPING IS ESTABLISHED AND THE SYSTEM IS REMOVED. NO SUCH SYSTEM SHALL BE PERMITTED TO BE TURNED OVER TO THE METRO DISTRICT FOR MAINTENANCE.

- 9.6. THE TEMPORARY IRRIGATION WILL PROVIDE RELIABLE AUTOMATED IRRIGATION FOR THE PLANTS DURING THE ESTABLISHMENT PERIOD.
- 9.7. THE DEVELOPER HAS DEMONSTRATED THE ABILITY TO PROVIDE ONGOING MAINTENANCE OF XEROSCAPE AREAS NECESSARY TO KEEP PLANT MATERIAL HEALTHY WITHOUT IRRIGATION
- 10. SOIL AMENDMENT
 - 10.1. SOIL AMENDMENT IS ONLY NECESSARY IN PLANTING BEDS AND BLUE GRASS/ FESCUE TURF AREAS. WHERE SOIL AMENDMENT IS NECESSARY, MINIMUM REQUIREMENTS FOR SOIL PREPARATION SHALL INCLUDE THREE (3) CUBIC YARDS OF ORGANIC MATERIAL FOR 1,000 SQUARE FEET OF EXISTING SOIL TILLED TO A MINIMUM DEPTH OF SIX (6) INCHES. REGARDLESS OF EXISTING SOIL CONDITIONS TREE AND SHRUB PITS SHALL BE BACKFILLED USING A MIXTURE OF ONE- THIRD EXISTING SITE SOIL, ONE-THIRD TOPSOIL AND ONE-THIRD ORGANIC MATTER.
- 11. PLANT SELECTION AND DIVERSITY
 - 11.1. PLANT SELECTION AND DIVERSITY WILL BE PER TOWN STANDARDS. TREE SPECIES PROHIBITED WITHIN THE TOWN PER TOWN STANDARDS WILL BE REMOVED BY THE DEVELOPER IN EXISTING LANDSCAPE AREAS, WHEN APPROPRIATE, AND WILL NOT BE PLANTED IN NEW LANDSCAPE AREAS.
- 12. STREET TREE MINIMUM STANDARDS
 - 12.1. SPECIES THAT GENERALLY HAVE BRANCHES LESS THAN FIFTEEN (15) FEET ABOVE THE ROADWAY AT MATURITY SHALL NOT BE USED AS STREET TREES UNLESS THEY ARE LOCATED SUCH THAT NO INTERFERENCE WITH THE ROADWAY WILL OCCUR AT MATURITY. MINOR TRIMMING AND BRANCH REMOVAL SHOULD BE PERFORMED TO MAINTAIN THE FIFTEEN (15) FOOT REQUIREMENT AND EIGHT (8) FOOT MINIMUM CLEARANCE OVER SIDEWALKS AND BIKE PATHS.
 - 12.2. TREES PROHIBITED FROM PLANTING WITHIN THE TOWN OF JOHNSTOWN INCLUDE THE FOLLOWING: COTTON-BEARING COTTONWOOD, LOMBARDY POPLAR, BOX-ELDER, SIBERIAN OR CHINESE ELM, RUSSIAN OLIVE AND ASH TREES (FRAXINUS SPP.).
 - 12.3. TREES PROHIBITED FROM PLANTING WITHIN STREET RIGHT OF WAYS INCLUDE THE ABOVE PLUS THE FOLLOWING: FRUIT AND/OR THORN BEARING TREES (PROHIBITED FROM WITHIN FIVE (5) FEET OF BIKE PATH AS MEASURED FROM EDGE OF MATURE CANOPY), WILLOW (ALL VARIETIES), TREE OF HEAVEN, COTTONWOOD (ALL VARIETIES), AND SILVER MAPLE.
 - 12.4. TREES RECOMMENDED FOR USE WITHIN THE TOWN OF JOHNSTOWN INCLUDE THOSE LISTED IN PLANT MATERIALS LIST FOUND IN APPENDIX OF THE TOWN OF JOHNSTOWN LANDSCAPE GUIDELINES.
 - 12.5. PLANTING SIZES FOR REQUIRED LANDSCAPES:
 - 12.5.1. DECIDUOUS SHADE TREES: 2-INCH CALIPER
 - 12.5.2. ORNAMENTAL TREES: 1-1/2-INCH CALIPER
 - 12.5.3. EVERGREEN TREES: 6 FOOT - 8 FOOT HEIGHT (WITH A MINIMUM OF 25% AT 8 FOOT HEIGHT)
 - 12.5.4. MULTI-STEM ORNAMENTAL TREES: 8 FOOT - 10 FOOT HEIGHT
 - 12.5.5. SHRUBS: 5-GALLON CONTAINER
 - 12.5.6. VINES: 1-GALLON CONTAINER
 - 12.5.7. GROUND COVER/PERENNIALS: 2-1/4 INCH POTS
- 13. LANDSCAPE MAINTENANCE
 - 13.1. MAINTENANCE INCLUDES ALL REASONABLE AND REGULAR IRRIGATION, WEEDING, WEED CONTROL, FERTILIZING, PRUNING AS WELL AS REMOVAL OF TREE WRAP AND STAKING, AND BIKE PATH SNOW AND ICE REMOVAL PER STANDARD HORTICULTURAL PRACTICES AND TOWN CODE. PLANT MATERIALS THAT SHOW SIGNS OF INSECT PESTS, DISEASES AND/OR DAMAGE SHALL BE APPROPRIATELY TREATED. DEAD PLANT MATERIAL WILL BE REPLACED ACCORDING TO AN APPROVED LANDSCAPE PLAN. AN INITIAL INSPECTION OF LANDSCAPING INSTALLATION WILL BE DONE AT THE TIME OF DEVELOPMENT OR CHANGE IN USE.
 - 13.2. THE DEVELOPER AND SUBSEQUENT OWNER(S) SHALL BE RESPONSIBLE FOR MAINTAINING ALL ON-SITE AND COMMON LANDSCAPING AS SHOWN ON AN APPROVED LANDSCAPE PLAN OR AS EXISTING IF AN APPROVED LANDSCAPE PLAN DOES NOT EXIST.
 - 13.3. THE DEVELOPER AND SUBSEQUENT OWNER(S) SHALL BE RESPONSIBLE FOR MAINTAINING THE LANDSCAPING PUBLIC IMPROVEMENTS ON ALL ADJACENT RIGHTS-OF-WAY AS SHOWN ON AN APPROVED LANDSCAPE PLAN OR AS EXISTING IF AN APPROVED LANDSCAPE PLAN DOES NOT EXIST. UNLESS A MAINTENANCE AGREEMENT IS REACHED WITH ANOTHER ENTITY, THE TOWN, AT ITS DISCRETION, MAY ADD, REMOVE, REPLACE, OR MAINTAIN LANDSCAPING WITHIN THE RIGHT-OF-WAY PER TOWN STANDARDS.
 - 13.4. THE DEVELOPER MAY REQUEST TOWN MAINTENANCE OF ARTERIAL RIGHTS-OF-WAY WHERE THERE WILL NOT BE A PROPERTY OWNERS ASSOCIATION IN THE DEVELOPMENT OR SUBDIVISION. THE FOLLOWING STANDARDS SHALL APPLY:
 - 13.5. ACCEPTANCE OF MAINTENANCE WILL BE BASED ON THE DETERMINATION THAT THE PUBLIC INTEREST IS SERVED BY TOWN MAINTENANCE.
 - 13.6. THE DEVELOPER WILL MAINTAIN THE IMPROVEMENTS FOR TWO (2) YEARS FOLLOWING CONSTRUCTION ACCEPTANCE BY THE METRO DISTRICT OF SUCH IMPROVEMENTS, AND THERE AFTER UNTIL THE TOWN HAS GRANTED FINAL ACCEPTANCE FOR MAINTENANCE FOR THOSE IMPROVEMENTS.
 - 13.7. THE DEVELOPER MAY REQUEST TOWN MAINTENANCE OF OTHER FACILITIES NOT INCLUDED ABOVE. THE FOLLOWING STANDARDS SHALL APPLY:
 - 13.8. ACCEPTANCE OF MAINTENANCE IS BASED ON THE DETERMINATION THAT THE PUBLIC INTEREST IS SERVED BY TOWN MAINTENANCE.
 - 13.9. INSTALLATION OF ALL IMPROVEMENTS SHALL MEET OR EXCEED TOWN STANDARDS.
 - 13.10. THE DEVELOPER WILL MAINTAIN THE IMPROVEMENTS FOR TWO (2) YEARS FOLLOWING CONSTRUCTION ACCEPTANCE BY THE TOWN OF SUCH IMPROVEMENTS, AND THEREAFTER UNTIL THE TOWN HAS GRANTED FINAL ACCEPTANCE FOR MAINTENANCE FOR THOSE IMPROVEMENTS.
 - 13.11. THE DEVELOPER AND SUBSEQUENT OWNER(S) SHALL BE RESPONSIBLE FOR MAINTAINING ALL IRRIGATION SYSTEMS IN SOUND CONDITION AND SO ALL PLANT MATERIAL RECEIVES THE NECESSARY AMOUNT OF WATER. LEAKS AND OTHER BROKEN AND/OR NON-PERFORMING EQUIPMENT SHALL BE REPAIRED IN A TIMELY MANNER. SYSTEMS SHALL BE PERIODICALLY ADJUSTED TO ELIMINATE WATER SPRAYING ONTO PAVED SURFACES. WATERING TIMES SHALL BE REGULARLY ADJUSTED TO MEET THE SEASONAL NEEDS OF THE PLANTS WHILE MINIMIZING OVER-WATERING.
- 14. RESIDENTIAL ARCHITECTURAL DESIGN STANDARDS
 - 14.1. GENERAL CONDITIONS FOR SINGLE FAMILY RESIDENTS
 - 14.1.1. HOUSING MODEL VARIETY IS STRONGLY ENCOURAGED AND EACH HOUSING MODEL SHALL HAVE AT LEAST THREE (3) CHARACTERISTICS WHICH CLEARLY AND OBVIOUSLY DISTINGUISH IT FROM OTHER HOUSING MODELS. THE CHARACTERISTICS SHALL INCLUDE DIFFERENT FLOOR PLANS, EXTERIOR ELEVATIONS, EXTERIOR MATERIALS, ROOF LINES, GARAGE PLACEMENT, AND THE PLACEMENT OF THE FOOTPRINT ON THE LOT AND/OR BUILDING FACE.
 - 14.1.2. TO THE EXTENT FEASIBLE EVERY FRONT FACADE SHALL FACE THE STREET AND ALL UNITS SHALL PROVIDE FOR A WALK (HARD SURFACE) CONNECTION TO THE PUBLIC WALK SYSTEM.
 - 14.2. FRONT ELEVATION
 - 14.2.1. THE FRONT FACADE ELEVATION SHALL CONSIST OF A MIX OF MATERIALS TO PROVIDE AN INTERESTING AND PLEASING RESIDENTIAL UNIT AND STREETScape.
 - 14.2.2. THE FRONT FACADE SHALL INCLUDE A MINIMUM OF 20% STONE OR BRICK. THE GARAGE DOOR, FRONT DOOR AND WINDOWS SHALL NOT BE INCLUDED IN THE CALCULATION FOR PERCENTAGE.
 - 14.2.3. THE COLOR OF ALL EXTERIOR MATERIALS WILL BE SUBDUED TO BLEND WITH THE COLORS OF THE NATURAL LANDSCAPE. MUTED EARTH TONES, PRIMARILY IN HUES OF TAN, BROWN, CHARCOAL, OR GRAY, OR VARIATIONS OF BLUES, YELLOWS, AND GREENS ARE RECOMMENDED. ACCENT COLORS USED JUDICIOUSLY AND WITH RESTRAINT MAY BE PERMITTED INCLUDING WHITE CLAD WINDOWS AND ENTRY DOORS OR AN ACCENT COLOR FOR THE ENTRY / FRONT DOOR AND "PEAK" AREA MAY BE USED. A MAXIMUM OF THREE COLORS EACH FOR THE BASE TRIM AND ACCENT IS ENCOURAGED. LIGHT TONES WHICH UNDULY CONTRAST WITH THE SURROUNDING LANDSCAPE MAY BE PROHIBITED BY THE DRC.
 - 14.3. FRONT PORCHES
 - 14.3.1. IT IS ENCOURAGED TO PROVIDE A FRONT PORCH OR A WELL-DEFINED ENTRY FOR ALL RESIDENTIAL HOMES.
 - 14.3.2. A FRONT PORCH SHALL HAVE A MINIMUM DEPTH OF 4'-0" (AS MEASURED FROM THE FRONT FACADE TO THE POSTS, RAILINGS AND SPINDLES) AND A MINIMUM LENGTH OF 4'-0".
 - 14.3.3. A FRONT PORCH CAN INTRUDE 4' INTO SETBACK BUT MUST REMAIN OUTSIDE THE UTILITY EASEMENT.
 - 14.3.4. POSTS AND RAILINGS OR A SHORT "SITTING WALL" SHALL ENCLOSE ALL PORCHES WITH A FLOOR ELEVATION MORE THAN 30 INCHES ABOVE FINISH GRADE.
 - 14.3.5. A WELL-DEFINED FRONT ENTRY SHALL BE A MINIMUM OF 4 FEET WIDE AND 4 FEET DEEP. THE WIDTH OF THE ENTRY AT ITS OUTER OPENING SHALL BE A MINIMUM OF 2 FEET WIDER THAN THE WIDTH OF THE ENTRY DOOR, UNLESS A VARIANCE IS APPROVED UNDER SECTION 1.9.
 - 14.4. GARAGES]
 - 14.4.1. IF A THREE CAR GARAGE IS TO BE BUILT, THEN ONE GARAGE BAY WILL BE OFFSET FROM THE PRIMARY FACADE OF THE DWELLING OR A COVERED PORCH BY AT LEAST TWO FEET.
 - 14.4.2. WITH CAR GARAGE DOORS THAT ARE VISIBLE AS PART OF FRONT BUILDING ELEVATIONS, SHALL NOT COMPRISE MORE

- THAN SIXTY FIVE (65) PERCENT OF THE GROUND FLOOR STREET-FACING LINEAR BUILDING FRONTAGE. CORNER LOTS ARE EXEMPT FROM THIS CONDITION. THREE CAR GARAGES MAY COMPRISE A HIGHER PERCENTAGE.
- 14.4.3. EACH DETACHED SINGLE FAMILY DWELLING SHALL INCLUDE AN ATTACHED OR DETACHED TWO CAR GARAGE AND MAY INCLUDE A LARGER GARAGE UP TO THREE (3) GARAGE DOORS ONLY.
- 14.4.4. GARAGE DOORS WILL BE DETAILED WITH GRIDS OR PANEL PATTERNS, AND/OR WINDOWS WITH DECORATIVE TRIM FEATURES. GARAGE COLORS WILL BE COMPLEMENTARY IN COLOR AND DESIGN TO THE HOUSE EXTERIOR. OTHER DRC SOLUTIONS TO MITIGATE THE IMPACT OF GARAGE DOORS MAY BE CONSIDERED IF APPROVED BY THE DRC.
- 14.4.5. GARAGE DOORS MAY BE LOCATED ON ANOTHER SIDE OF THE DWELLING (SIDE LOADED) PROVIDED THAT THE SIDE OF THE GARAGE FACING THE STREET HAS WINDOWS OR OTHER DRC FEATURES THAT MIMIC THE FEATURES OF THE LIVING PORTION OF THE DWELLING.
- 14.4.6. TAPERING DRIVEWAYS AT THE STREET CURB UNLESS THE DRIVEWAY IS OF SUFFICIENT LENGTH TO ALLOW VEHICLES TO PARK IN THE DRIVEWAY WITHOUT BLOCKING ACCESS TO OTHER GARAGE DOORS SHALL BE DISCOURAGED.
- 14.5. ROOFS
 - 14.5.1. RESIDENCES SHALL HAVE EXTERIOR ELEVATIONS, ROOFS, AND DETAILS THAT ARE COORDINATED AND CONSISTENT IN THEIR ARCHITECTURAL TREATMENT
 - 14.5.2. MULTIPLE AXIS ROOF LINES TO REDUCE BUILDING SCALE AND INCREASE INDIVIDUALITY AND DIVERSITY SHALL BE ENCOURAGED.
 - 14.5.3. ROOF PITCHES OF 5/12 SHALL BE ENCOURAGED FOR THE DOMINANT ROOF SURFACE, EXCEPT WHERE STYLES INCORPORATE FLAT OR LOWER PITCHED ROOF DESIGN AS AN EXPRESSION OF DELIBERATE ARCHITECTURAL APPEARANCE.
 - 14.5.4. EAVE LINES THAT VARY VERTICALLY TO IMPROVE VISUAL QUALITY AND BREAK UP BUILDING MASS SHALL BE ENCOURAGED.
 - 14.5.5. HIGH-PROFILE/RANDOM ASPHALT SHINGLES WITH A MINIMUM OF A 30 YEAR LIFE SHALL BE USED. THREE (3) TAB ASPHALT SHINGLES ARE NOT ALLOWED. WEATHER WOOD, OR SIMILAR TONE COLORS SHALL BE USED.
 - 14.5.6. OTHER ROOFING MATERIALS SHALL BE APPROVED ON AN INDIVIDUAL CASE BASIS AND MAY INCLUDE, BUT IS NOT LIMITED TO METAL, CONCRETE, FILE OR SIMULATED FIBERGLASS CEDAR SHAKE SHINGLE ROOFS IN EARTH TONES, SHALL BE ENCOURAGED.
- 14.6. PATIOS BY BUILDERS
 - 14.6.1. THE BUILDER SHALL PROVIDE EACH RESIDENCE WITH A REAR PATIO FROM THE BACK DOOR OF THE BUILDING.

Item 2

DATE: _____

BY: _____

REVISIONS

NO.	DATE	DESCRIPTION

AVANT CIVIL GROUP

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SOUTHRIDGE SUBDIVISION

FINAL DEVELOPMENT PLAN DEVELOPMENT STANDARDS

PROJECT MANAGER: R. LAUER

SUBMITTAL DATE: 6/9/2023

CAUTION

The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes must be approved by the Professional Engineer of these plans.

SCALE:

HORIZ: N/A

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2 OF 12

PROJECT NO. 1155-007 11

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LANDSCAPE NOTES

- ALL PLANT MATERIAL SHALL MEET SPECIFICATIONS OF THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) FOR NUMBER ONE GRADE. ALL TREES SHALL BE BALLED AND BURLAPPED OR EQUIVALENT.
- NO PLANT MATERIAL WITH MATURE GROWTH GREATER THAN THREE FEET (3') IN HEIGHT SHALL BE PLANTED WITHIN WATER AND SEWER EASEMENTS.
- NO SHRUBS SHALL BE PLANTED WITHIN FIVE FEET (5') RADIUS OR TREES WITHIN TEN FEET (10') OF WATER METERS, FIRE HYDRANTS, OR SANITARY SEWER MANHOLES.
- DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS DONE BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT NOR PRECLUDE THE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.
- ALL LANDSCAPE AREAS WITHIN THE SITE SHALL BE IRRIGATED WITH AN AUTOMATIC CLOCK ACTIVATED UNDERGROUND IRRIGATION SYSTEM. AN IRRIGATION PLAN WILL BE REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT AND INSTALLED PRIOR TO C.O. ALL TURF AREAS TO BE IRRIGATED WITH AN AUTOMATIC POP-UP IRRIGATION SYSTEM. ALL SHRUB BEDS AND TREES ARE TO BE IRRIGATED WITH AN AUTOMATIC IRRIGATION (TRICKLE) IRRIGATION SYSTEM, OR ACCEPTABLE ALTERNATIVE. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE REQUIREMENTS OF THE INDIVIDUAL PLANT MATERIAL.
- ALL SHRUB BEDS TO BE MULCHED WITH COBBLE MULCH (3"DEPTH) OVER WEEDBARRIER FABRIC.
- ALL PERENNIAL AREAS TO BE MULCHED WITH WOOD BARK MULCH (3"DEPTH), OMIT WEEDBARRIER FABRIC.
- EDGING BETWEEN GRASS AND SHRUB BEDS SHALL BE 1/2" X 4" STEEL SET LEVEL WITH TOP OF SOD.
- TOPSOIL TO THE MAXIMUM EXTENT FEASIBLE. TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE.
- SOIL AMENDMENTS: PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY, AND/OR AS DICTATED BY DRCURC, SHALL RECEIVE MINIMUM REQUIREMENTS FOR SOIL PREPARATION. MINIMUM SOIL PREPARATION SHALL INCLUDE THREE (3) CUBIC YARDS OF ORGANIC MATERIAL FOR 1,000 SQUARE FEET OF EXISTING SOIL, FILLED TO A MINIMUM DEPTH OF SIX (6) INCHES. TREE AND SHRUB PITS SHALL BE BACKFILLED USING A MIXTURE OF 1/3 (ONE-THIRD) EXISTING SITE SOIL, ONE-THIRD TOPSOIL AND ONE-THIRD ORGANIC MATTER.
- IT IS THE RESPONSIBILITY OF THE DEVELOPER AND THEIR CONTRACTORS TO BUILD THE PROJECT ACCORDING TO APPROVED PLANS AND DETAILS AND IN ACCORDANCE WITH CURRENT TOWN OF JOHNSTOWN LANDSCAPE GUIDELINES. FIELD CHANGES TO THESE PLANS ARE TO BE APPROVED BY THE TOWN OF JOHNSTOWN PRIOR TO ANY WORK. FIELD CONDITIONS THAT CONFLICT WITH OR JEOPARDIZE THE LONGEVITY OF THE PROPOSED IMPROVEMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE TOWN OF JOHNSTOWN FOR RESOLUTION. FAILURE TO BRING SUCH MATTERS TO THE ATTENTION OR TO OBTAIN APPROVAL OF REMEDIAL MEASURES WILL IN NO WAY RELIEVE THE CONTRACTOR OF THEIR OBLIGATION TO RESOLVE THE MATTER TO THE SATISFACTION OF THE TOWN OF JOHNSTOWN.
- THE IRRIGATION SYSTEM WILL BE DESIGNED TO MEET TOWN LANDSCAPE STANDARDS.

PLANTING NOTES

- ALL PLANT MATERIAL SHALL MEET OR EXCEED CURRENT AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1 AND THE COLORADO NURSERY ACT AND ACCOMPANYING RULES AND REGULATIONS.
- STAKE ALL TREES BASED ON THESE DRAWING. LOCATIONS OF PLANT MATERIALS TO BE APPROVED BY THE [OWNER'S REPRESENTATIVE] IN THE FIELD PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLAN. ANY DISCREPANCIES BETWEEN THE PLAN AND FIELD CONDITIONS SHALL BE REPORTED TO THE [OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH WORK.
- NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICTS BETWEEN UTILITIES AND PLANTINGS TO COORDINATE FIELD ADJUSTMENTS.
- TREES SHALL BE A MINIMUM OF 10' FROM ALL UTILITIES, UNLESS NOTED OTHERWISE.
- IF THERE IS A DISCREPANCY BETWEEN THE PLANT COUNTS ON THE CALLOUTS AND/OR SCHEDULES ON THE PLANS AND THE ACTUAL NUMBER OF PLANTS DEPICTED ON THE PLANS, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING THE ACTUAL NUMBER OF PLANTS DEPICTED ON THE DRAWINGS.
- THE CONTRACTOR IS RESPONSIBLE FOR WEED CONTROL FOR ALL LANDSCAPE AREAS UNTIL FINAL PROJECT ACCEPTANCE.
- FINE GRADING MUST BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO SEEDING, SODDING, AND PLANTING.

SIGHT TRIANGLE LANDSCAPING NOTES

- CORNER SIGHT DISTANCE MEASURED FROM A POINT ON THE MINOR ROAD, PARALLEL TO THE ROADWAY, 15 FEET FROM THE EDGE OF THE MAJOR ROAD PAVEMENT, AND FROM AN EYE HEIGHT OF 3.50 FEET ON THE MINOR ROAD TO A HEIGHT OF OBJECT OF 4.25 FEET ON THE MAJOR ROAD.
- EVERGREEN TREES SHALL NOT BE PLACED WITHIN SIGHT TRIANGLE. DECIDUOUS TREES WITHIN SIGHT TRIANGLE SHALL BE MAINTAINED SUCH THAT LOWEST CANOPY IS 8 FEET MINIMUM ABOVE ADJACENT GRADE.

THE RIDGE AT JOHNSTOWN - AREAS D, E AND F: REQUIRED LANDSCAPE CALCULATIONS

(UP TO 30% OF REQUIRED SHRUBS MAY BE SUBSTITUTED FOR TREES AT 10:1)

ARTERIAL RIGHT OF WAY REQUIREMENTS				
BOUNDARY	PROVIDED AREA (SF)	REQUIREMENT (1 TREE AND 5 SHRUBS PER 1,000 SF)	PLANTINGS* REQUIRED	PLANTINGS PROVIDED
WEST ARTERIAL RIGHT OF WAY	10000	1 TREES	10	13
		5 SHRUBS	50	63
EAST ARTERIAL RIGHT OF WAY	9250	1 SHADE TREES	9	21
		5 SHRUBS	46	77

ARTERIAL PERIMETER BUFFER REQUIREMENTS				
BOUNDARY	PROVIDED AREA (SF)	REQUIREMENT (1 TREE AND 5 SHRUBS PER 2,000 SF)	PLANTINGS* REQUIRED	PLANTINGS PROVIDED
WEST ARTERIAL RIGHT OF WAY	10000	1 TREES	5	12
		5 SHRUBS	25	162
EAST ARTERIAL RIGHT OF WAY	9250	1 SHADE TREES	5	15
		5 SHRUBS	23	44

NATIVE SEED MIX NOTES

- THE TIME OF YEAR SEEDING IS TO OCCUR SHOULD BE OCTOBER THROUGH EARLY MAY.
- PREPARE SOIL AS NECESSARY AND APPROPRIATE FOR NATIVE SEED MIX SPECIES THROUGH AERATION AND ADDITION OF AMENDMENTS. THEN SEED IN TWO DIRECTIONS TO DISTRIBUTE SEED EVENLY OVER ENTIRE AREA. DRILL SEED ALL INDICATED AREAS AS SOON AS POSSIBLE AFTER COMPLETION OF GRADING OPERATIONS.
- IF CHANGES ARE TO BE MADE TO SEED MIX BASED ON SITE CONDITIONS THEN APPROVAL MUST BE PROVIDED BY CITY ENVIRONMENTAL PLANNER
- APPROPRIATE NATIVE SEEDING EQUIPMENT WILL BE USED (STANDARD TURF SEEDING EQUIPMENT OR AGRICULTURE EQUIPMENT SHALL NOT BE USED).
- DRILL SEED APPLICATION RECOMMENDED PER SPECIFIED APPLICATION RATE TO NO MORE THAN 1/2" DEPTH (OR APPROPRIATE DEPTH FOR SELECTED SPECIES). FOR BROADCAST SEEDING INSTEAD OF DRILL SEEDING METHOD DOUBLE SPECIFIED APPLICATION RATE. REFER TO NATIVE SEED MIX TABLE FOR SPECIES, PERCENTAGES AND APPLICATION RATES.
- PREPARE WEED MANAGEMENT PLAN TO ENSURE THAT WEEDS ARE PROPERLY MANAGED BEFORE, DURING AND AFTER SEEDING ACTIVITIES.
- AFTER SEEDING THE AREA SHALL BE COVERED WITH CRIMPED STRAW, JUTE MESH, OR OTHER APPROPRIATE METHODS.
- WHERE NEEDED, TEMPORARY IRRIGATION SHOULD BE PROVIDED UNTIL SEED IS ESTABLISHED. IF IRRIGATION IS USED, THE IRRIGATION SYSTEM FOR SEEDING AREAS SHALL BE FULLY OPERATIONAL AT THE TIME OF SEEDING AND SHALL ENSURE 100% HEAD-TO-HEAD COVERAGE OVER ALL SEEDING AREAS. ALL METHODS AND REQUIREMENTS IN THE APPROVED IRRIGATION PLAN SHALL BE FOLLOWED.
- CONTRACTOR SHALL MONITOR SEEDING AREA FOR PROPER IRRIGATION, EROSION CONTROL, GERMINATION AN RE-SEEDING AS NEEDED TO ESTABLISH COVER.
- THE APPROVED SEED MIX AREA IS INTENDED TO BE MAINTAINED IN A NATURAL LIKE LANDSCAPE AESTHETIC. IF AND WHEN MOWING OCCURS IN NATIVE GRASS SEED MIX AREAS DO NOT MOW LOWER THAN 6 TO 8 INCHES IN HEIGHT TO AVOID INHIBITING NATIVE PLANT GROWTH.
- NATIVE SEED AREA WILL BE CONSIDERED ESTABLISHED WHEN SEVENTY PERCENT (70%) VEGETATIVE COVER IS REACHED WITH NO LARGER THAN ONE FOOT SQUARE BARE SPOTS AND/OR UNTIL DEEMED ESTABLISHED BY CITY PLANNING SERVICES AND EROSION CONTROL.
- THE DEVELOPER AND/OR LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ADEQUATE SEEDLING COVERAGE AND GROWTH AT THE TIME OF FINAL STABILIZATION, AS DEFINED BY STATE AND LOCAL AGENCIES. IF FINAL STABILIZATION IS NOT ACHIEVED TO THE SATISFACTION OF THE AGENCY, THE DEVELOPER AND/OR LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ADDITIONAL CORRECTIVE MEASURES TO SATISFY FINAL VEGETATIVE REQUIREMENTS FOR CLOSEOUT.

SEMI-IRRIGATED TURF MIX

SEED MIX 1	
SPECIES	SEEDED RATE LBS/PLS/ACRE (DRILLED)
BLUE GRAMA/BOUTELOUA GRACILIS	15
BUFFALOGRASS/BOUTELOUA DACTYLOIDES	15

NATIVE PRAIRIE SEED MIX

PRAIRIE SEED MIX	
SPECIES	SEEDED RATE LBS/PLS/ACRE (DRILLED)
BLUE GRAMA/BOUTELOUA GRACILIS	1.5
BUFFALOGRASS/BOUTELOUA DACTYLOIDES	2.4
SIDEOATS GRAMA/BOUTELOUA CURTIPENDULA	2.7
WESTERN WHEATGRASS/PASCOPYRUM SMITHII	5.2
GREEN NEEDLEGRASS/NASELLA VIRIDULA	3
SAND DROPS/SEED/SPOROBOLUS CRYPTANDRUS	0.18

PLANTING SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL
	AR	80	ACER PLATANOIDES 'ROYAL RED' / ROYAL RED NORWAY MAPLE	B & B	2"
	AF	87	ACER RUBRUM 'FRANKSRED' / RED SUNSET® MAPLE	B & B	2"
	BP	27	BETULA PLATYPHYLLA JAPONICA / WHITESPIRE BIRCH	B & B	2"
	CO	59	CELTIS OCCIDENTALIS / COMMON HACKBERRY	B & B	2"
	GS	90	GLEDITSIA TRIACANTHOS INERMIS 'SKYLINE' / SKYLINE HONEY LOCUST	B & B	2"
	GK	101	GYMNOCLADUS DIOICA / KENTUCKY COFFEETREE	B & B	2"
	QB	65	QUERCUS BICOLOR / SWAMP WHITE OAK	B & B	2"
	TG	54	TILIA CORDATA 'GREENSPIRE' / GREENSPIRE LITTLELEAF LINDEN	B & B	2"

EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL
	PC	20	PICEA PUNGENS / COLORADO SPRUCE	B & B	6' HT
	PPH	19	PICEA PUNGENS 'HOOPSII' / HOOPSI SPRUCE	B & B	6' HT
	PP	27	PINUS EDULIS / PINYON PINE	B & B	6' HT
	PS	7	PINUS SYLVESTRIS / SCOTCH PINE	B & B	6' HT

ORNAMENTAL TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL
	PA	28	PRUNUS AMERICANA / AMERICAN PLUM	B & B	1.5"
	PM	29	PRUNUS VIRGINIANA MELANOCARPA / WESTERN CHOKECHERRY	B & B	1.5"
	SR	16	SYRINGA RETICULATA / JAPANESE TREE LILAC	B & B	1.5"

SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	HYDROZONE
	AS3	5	AMELANCHIER ALNIFOLIA / SERVICEBERRY	5 GAL	
	BA	153	BERBERIS THUNBERGII 'ATROPURPUREA' / RED LEAF JAPANESE BARBERRY	5 GAL	
	BB2	60	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION GRASS	5 GAL	
	CR	38	CORNUS SERICEA / RED TWIG DOGWOOD	5 GAL	
	CK	297	CORNUS SERICEA 'KELSEY' / KELSEY'S DWARF RED TWIG DOGWOOD	5 GAL	
	EEQ	22	EPHEDRA EQUITINA / BLUESTEM JOINT FIR	5 GAL	
	PN	28	PHYSOCARPUS OPULIFOLIUS / NINEBARK	5 GAL	
	PD	48	PHYSOCARPUS OPULIFOLIUS 'DIABLO' / DIABLO NINEBARK	5 GAL	
	RM	110	RIBES AUREUM VILLOSUM 'CRANDALL' / CRANDALL CLOVE CURRANT	5 GAL	
	RW	161	ROSA WOODSII / MOUNTAIN ROSE	5 GAL	
	RG3	184	RUDBECKIA FULGIDA SULLIVANTII 'GOLDSTURM' / BLACK-EYED SUSAN	5 GAL	
	SI	34	SALIX IRRORATA / DEWYSTEM WILLOW	5 GAL	

ORNAMENTAL GRASS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	HYDROZONE
	CAK	64	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL	

TREE SPECIES DIVERSITY

SPECIES	COUNT	TREE % OF TOTAL
Acer platanoides 'Royal Red'	80	11
Acer rubrum 'Franksred'	87	12
Betula platyphylla japonica	27	4
Celtis occidentalis	59	8
Gleditsia triacanthos inermis 'Skyline'	90	13
Gymnocladus dioica 'Espresso'	101	14
Quercus bicolor	65	9
Tilia cordata 'Greenspire'	54	8
Picea pungens	20	3
Picea pungens 'Hoopsii'	19	3
Pinus edulis	27	4
Pinus sylvestris	7	1
Prunus americana	28	4
Prunus virginiana melanocarpa	29	4
Syringa reticulata	16	2
TOTAL TREES	709	

LEGEND

	IRRIGATED TURF	U.E.
	SEMI-IRRIGATED TURF 50% BLUE GRAMA, 50% BUFFALO GRASS	D.E.
	NATIVE PRAIRIE SEED MIX SEE NOTES & SCHEDULES FOR DETAILS	ESMT
	CRUSHER FINES TRAIL	
	CONCRETE	
	PLAYGROUND MULCH	
	UTILITY EASEMENT	
	DETENTION EASEMENT	
	EASEMENT	

SOUTHRIDGE SUBDIVISION

JOHNSTOWN, CO

PREPARED BY:



DEVELOPER/APPLICANT

JOURNEY HOMES
LARRY BUCKENDORF
7251 W. 20TH STREET, L-200
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ORIGINAL SIZE 24x36

ISSUED

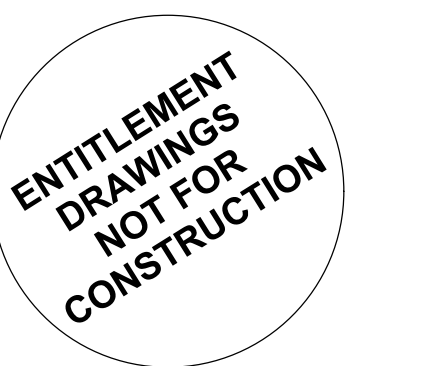
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02	FINAL PLAT	12/02/2022
03	FINAL PLAT RD 2	06/09/2022

REVISIONS

No.	DESCRIPTION	DATE

LANDSCAPE NOTES & SCHEDULES

SEAL:



PROJECT No.:	R22-044
DRAWN BY:	
REVIEWED BY:	
DRAWING NUMBER:	

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SOUTHRIDGE SUBDIVISION

JOHNSTOWN, CO
PREPARED BY:

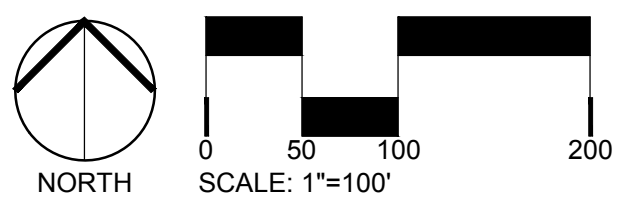


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REVISIONS

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LANDSCAPE PLAN

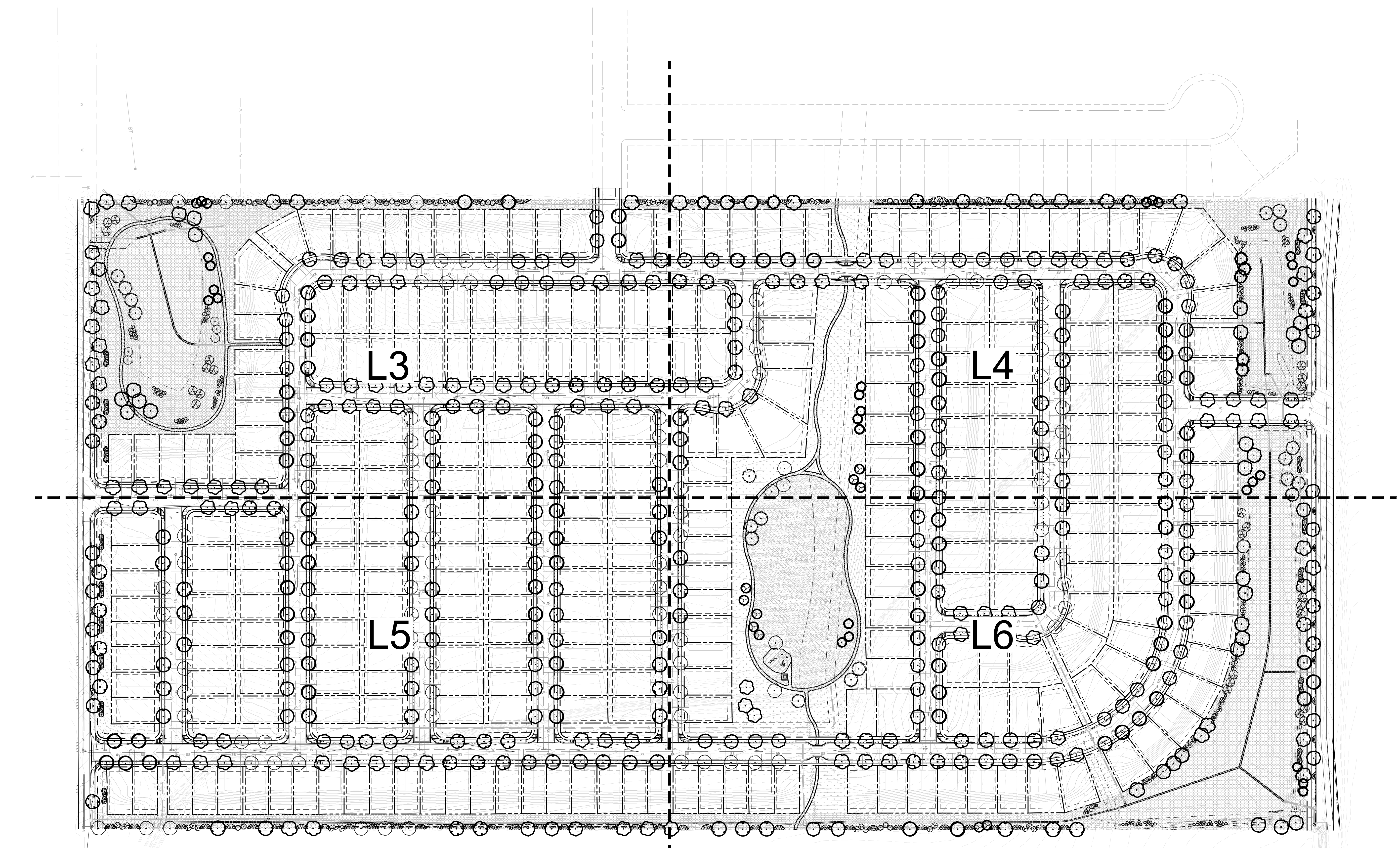
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LEGEND

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SEMI-IRRIGATED TURF 50% BLUE GRAMA, 50% BUFFALO GRASS		DETENTION EASEMENT	D.E.
NATIVE PRAIRIE SEED MIX SEE NOTES & SCHEDULES FOR DETAILS		EASEMENT	ESMT
CRUSHER FINES TRAIL			
CONCRETE			
PLAYGROUND MULCH			

SOUTHRIDGE SUBDIVISION

JOHNSTOWN, CO
PREPARED BY:

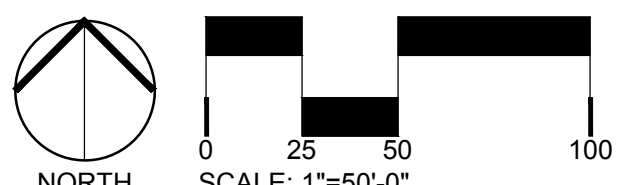


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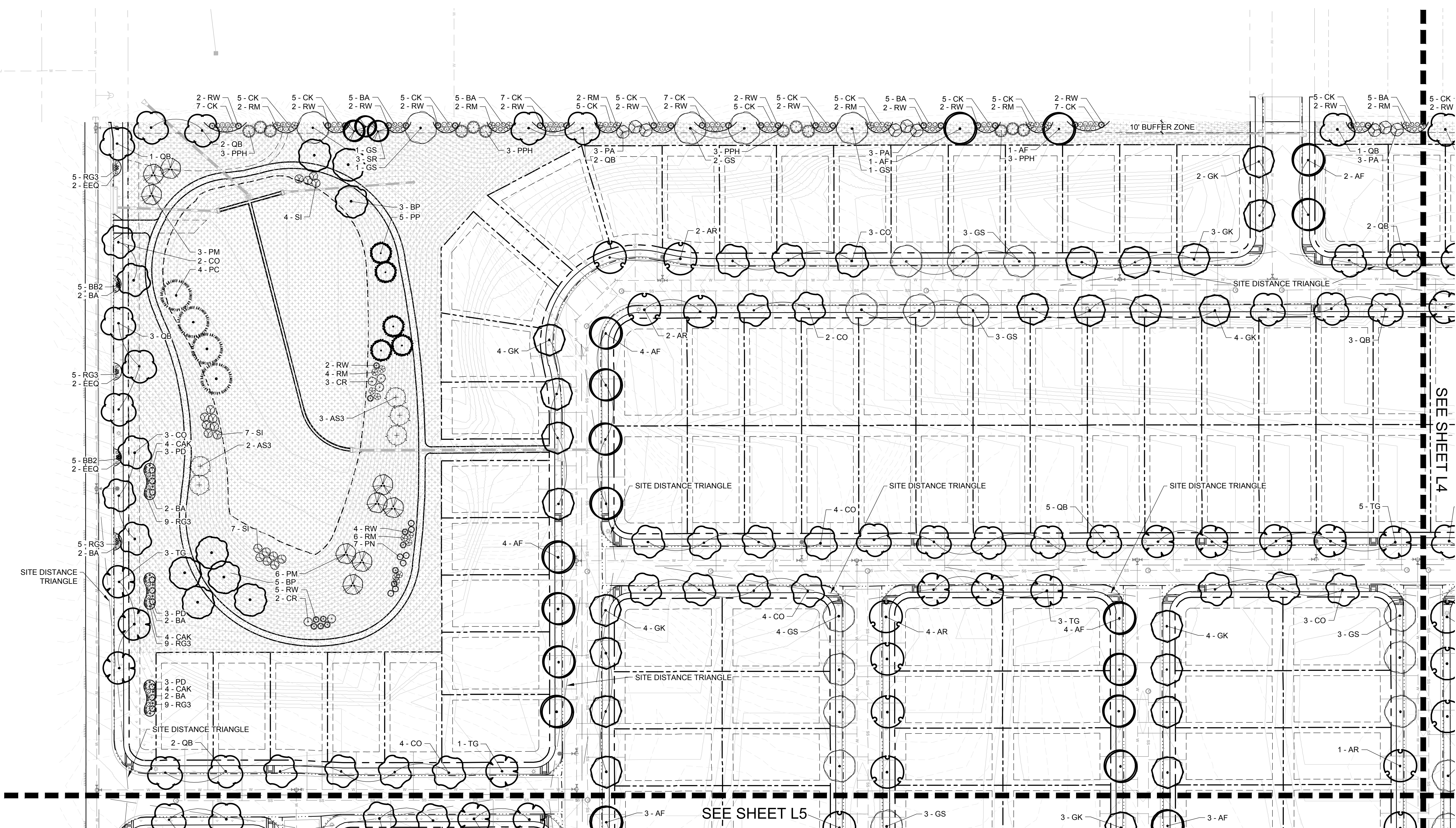
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SEMI-IRRIGATED TURF 50% BLUE GRAMA, 50% BUFFALO GRASS		DETENTION EASEMENT	D.E.
NATIVE PRAIRIE SEED MIX SEE NOTES & SCHEDULES FOR DETAILS		EASEMENT	ESMT
CRUSHER FINES TRAIL			
CONCRETE			
PLAYGROUND MULCH			

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SOUTHRIDGE SUBDIVISION

JOHNSTOWN, CO
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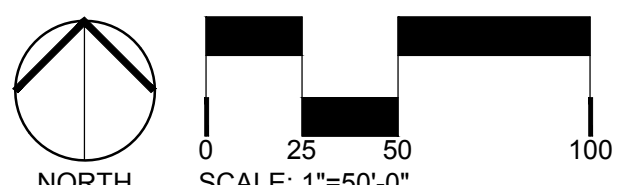


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REVISIONS

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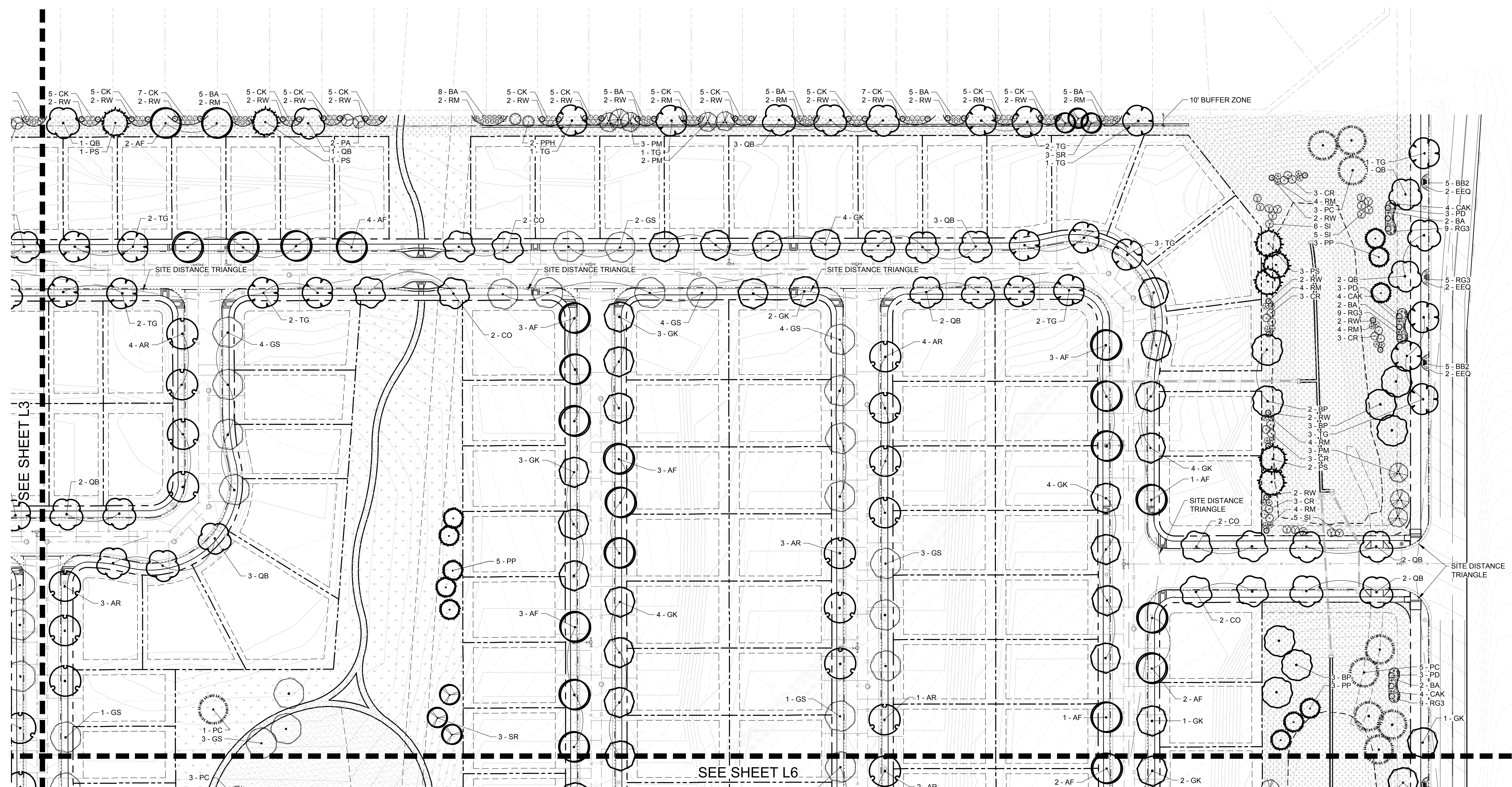
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CRUSHER FINES TRAIL			
CONCRETE			
PLAYGROUND MULCH			

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SOUTHRIDGE SUBDIVISION

JOHNSTOWN, CO
PREPARED BY:



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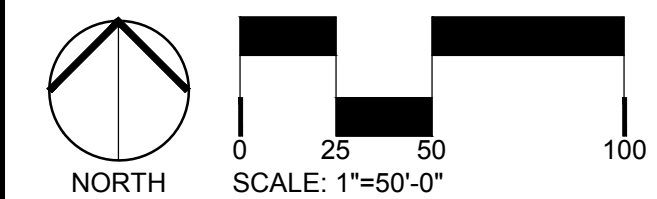
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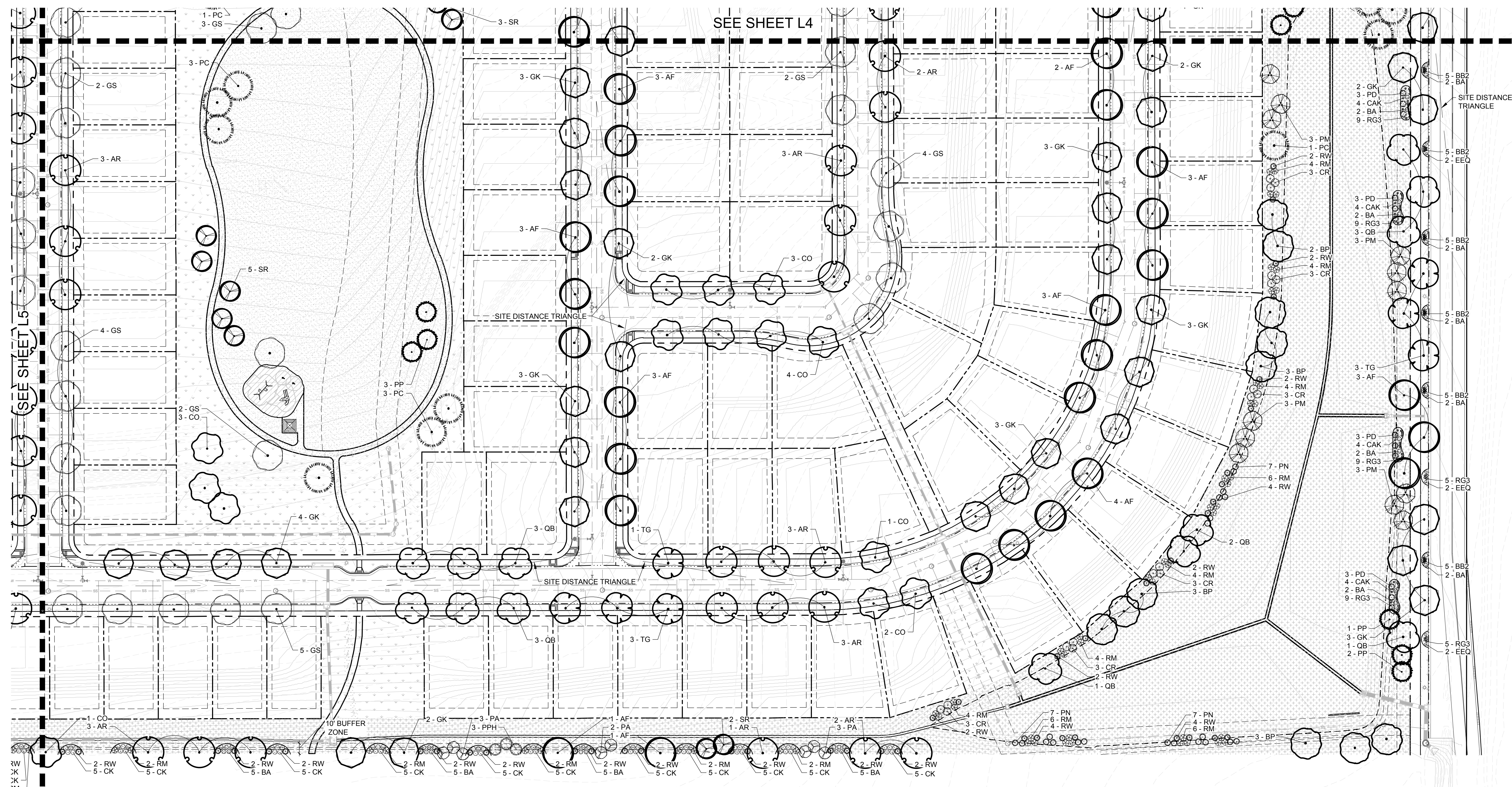
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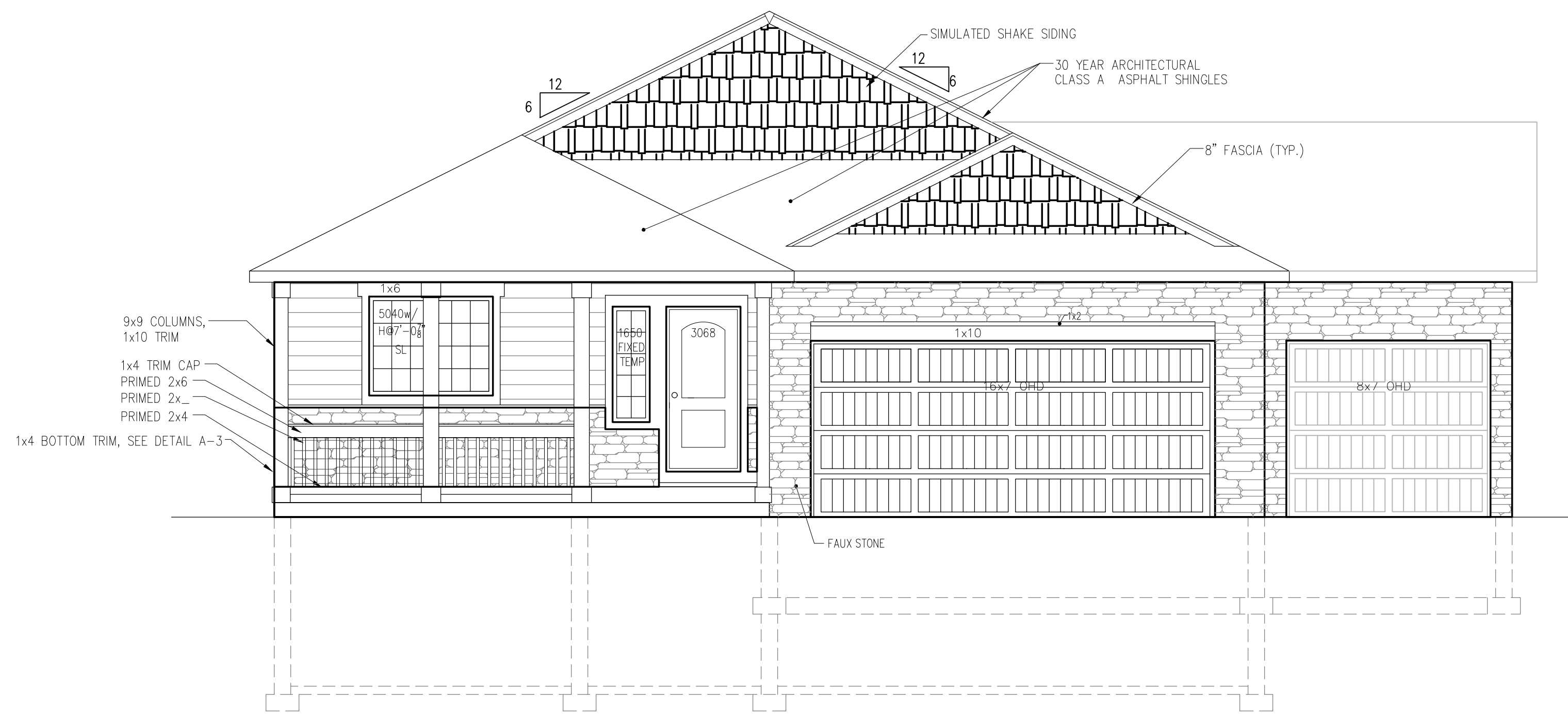
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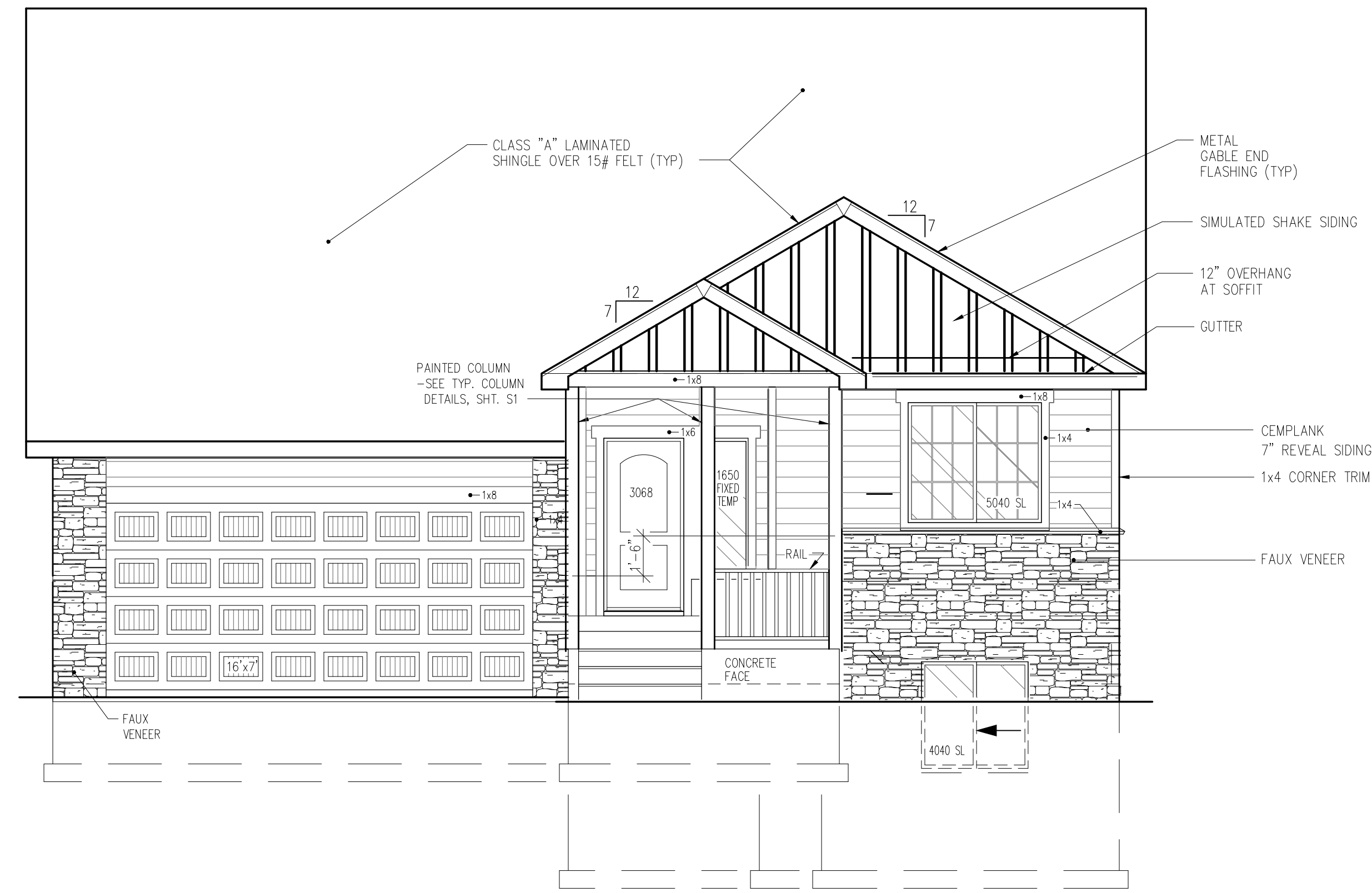
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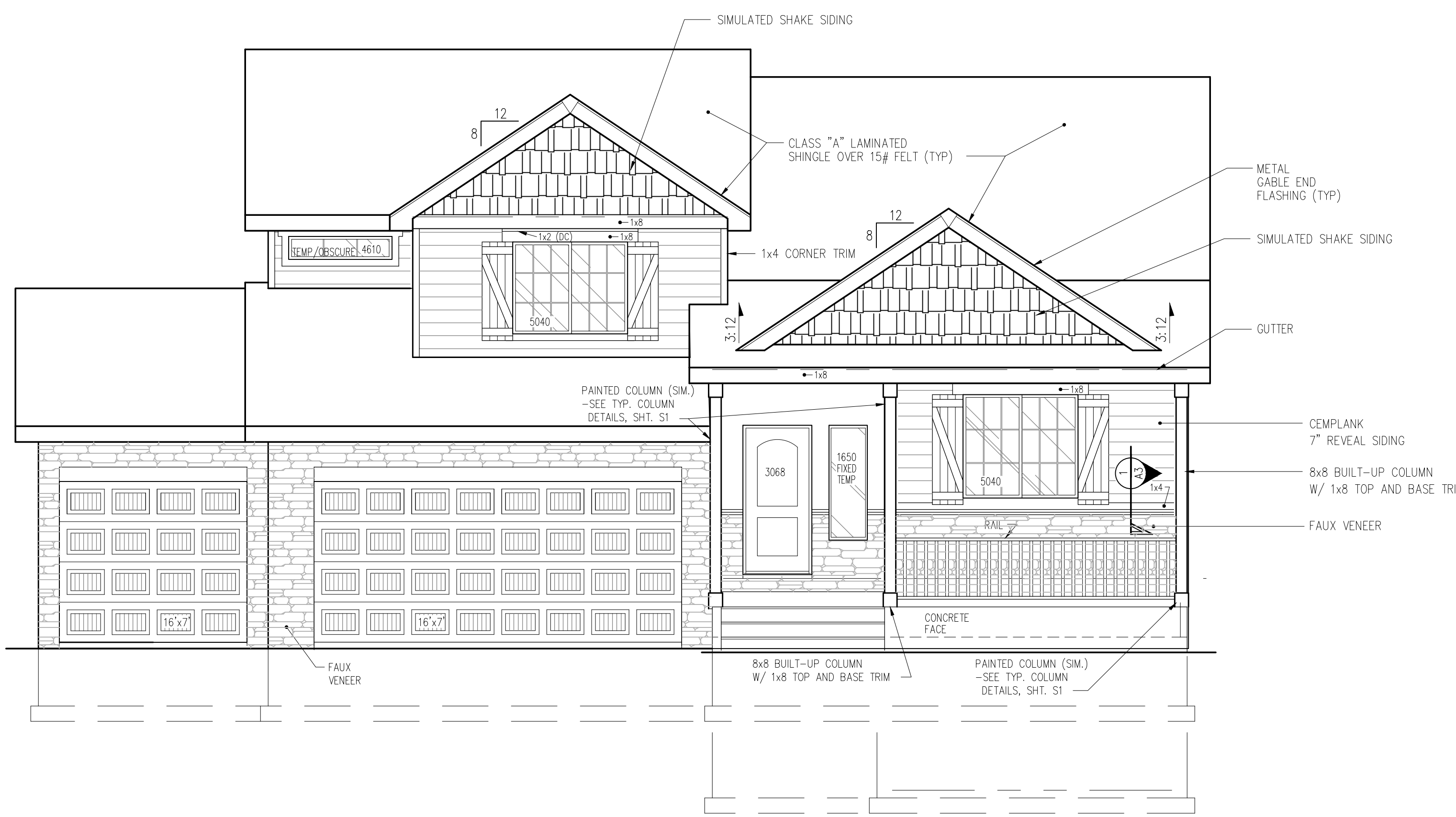
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1 CALIFORNIA
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CLASSIC SERIES

Sheet Title
ELEVATIONS
FRONT ELEVATION

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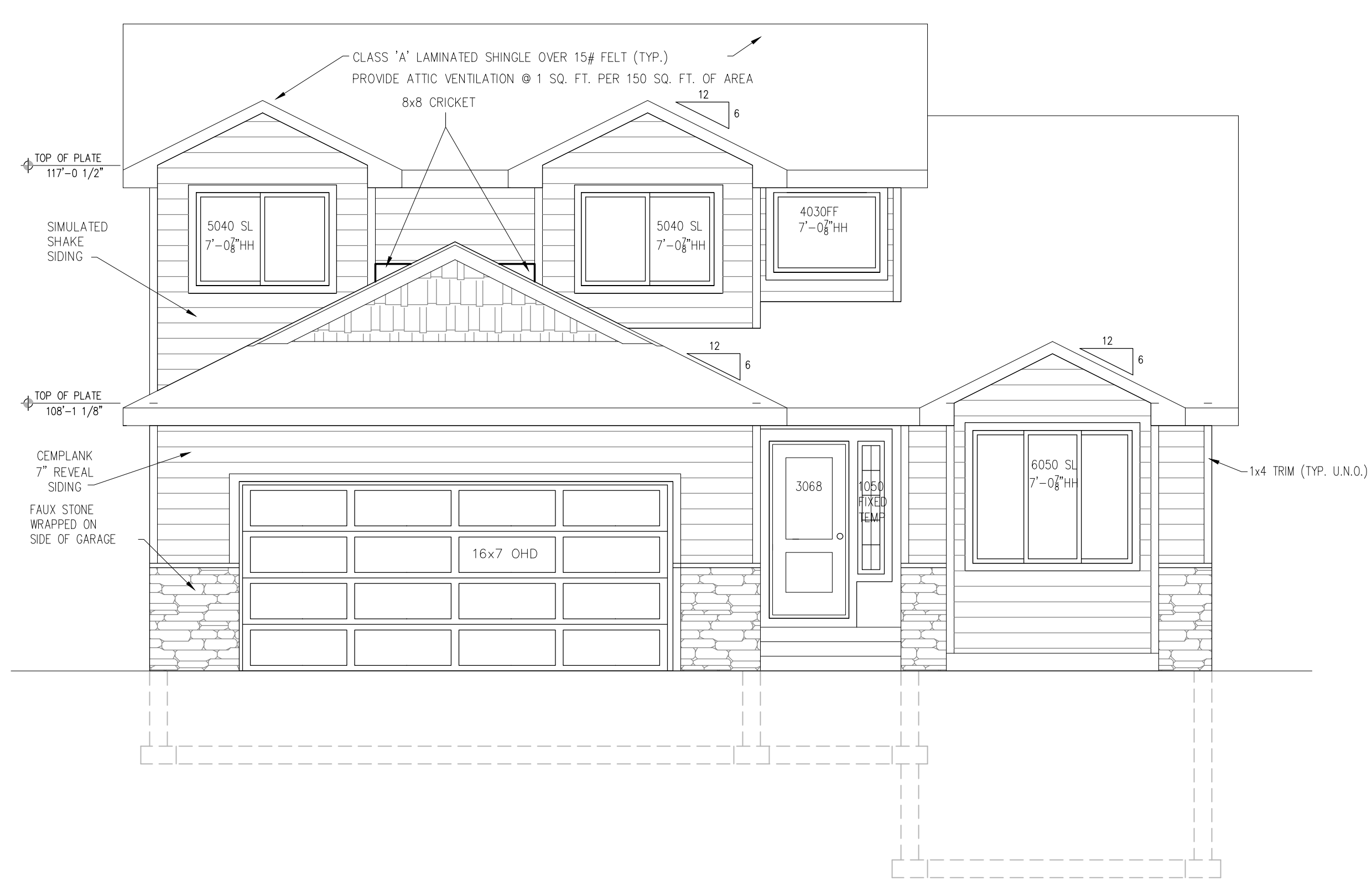
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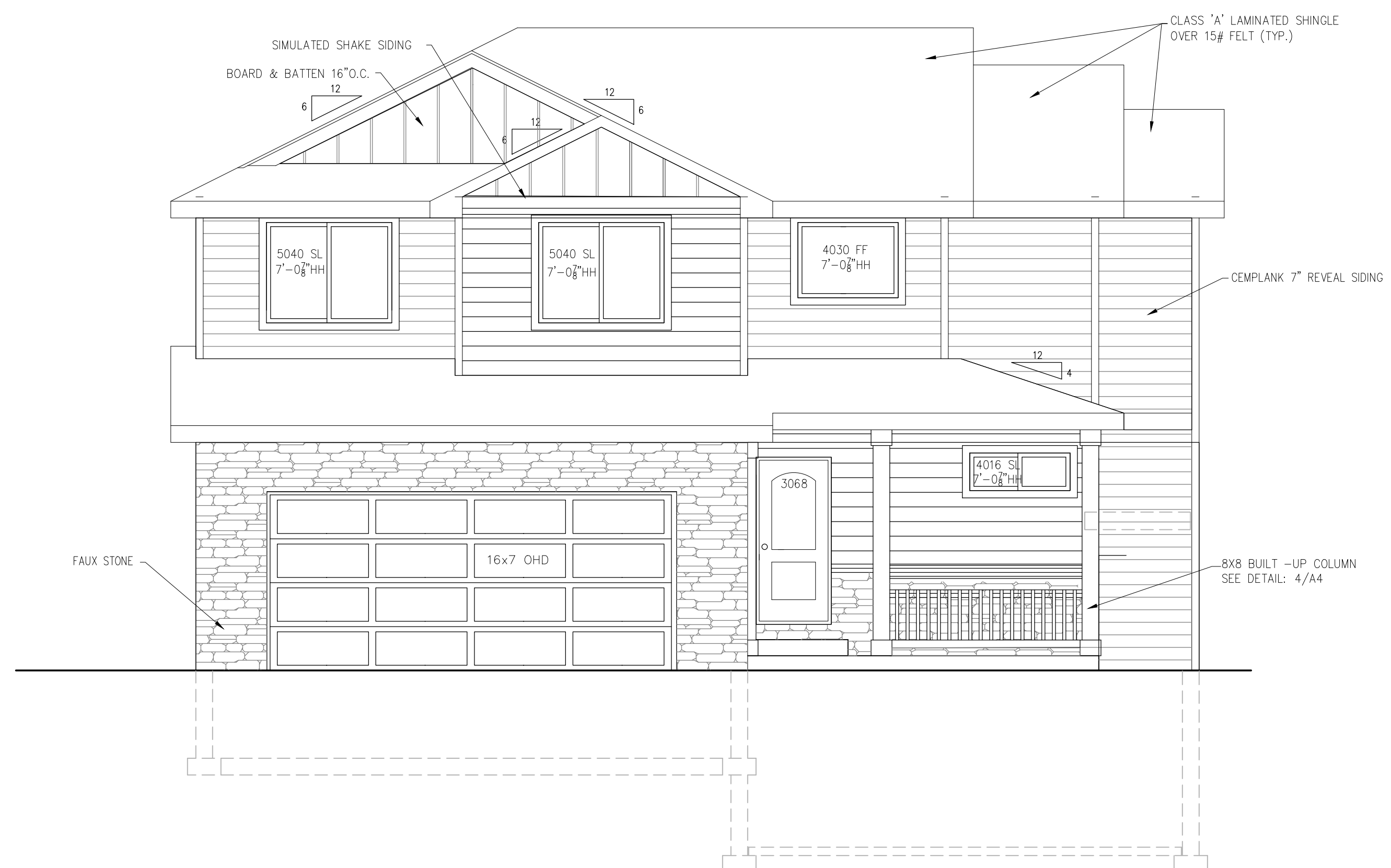
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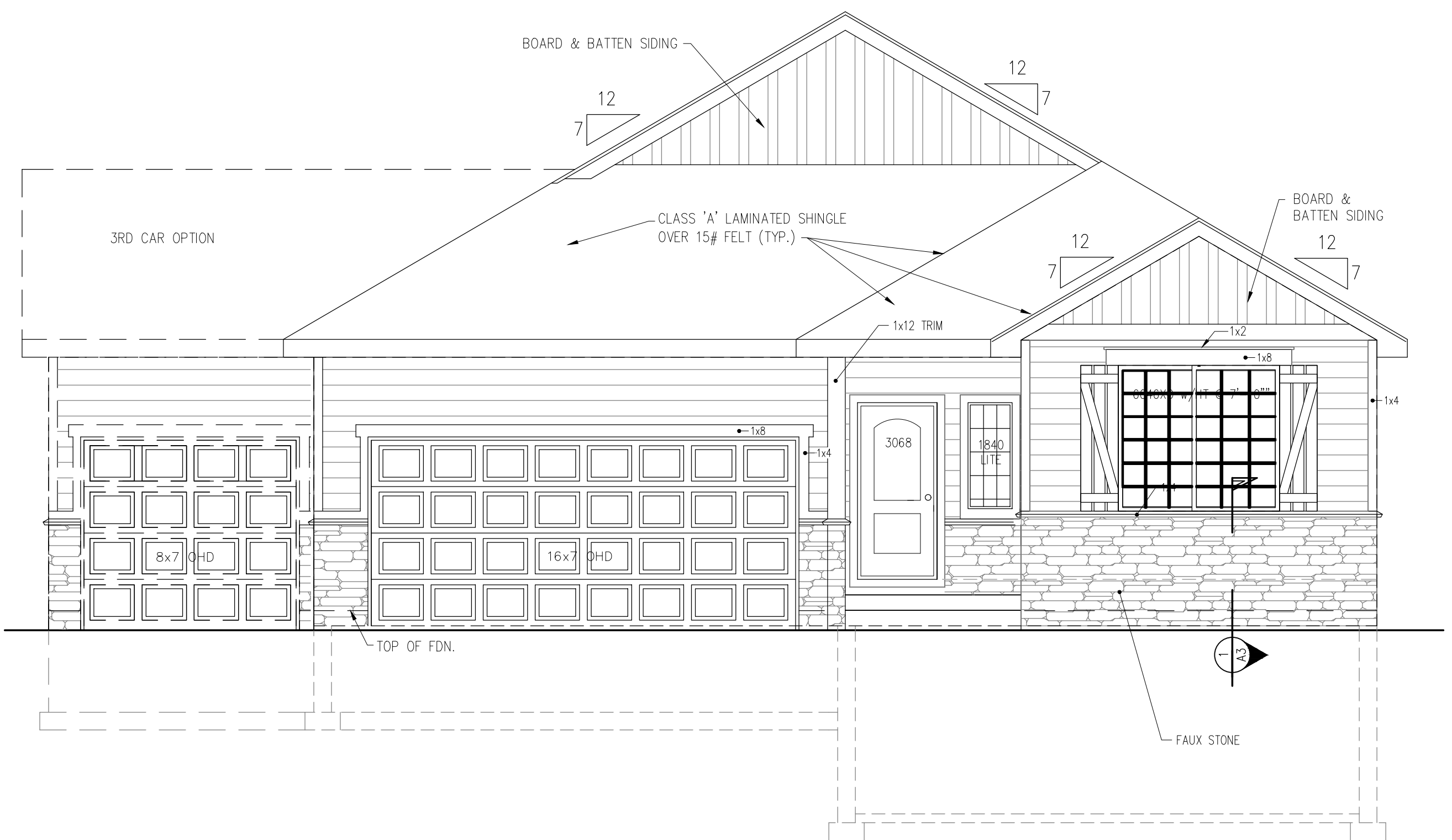
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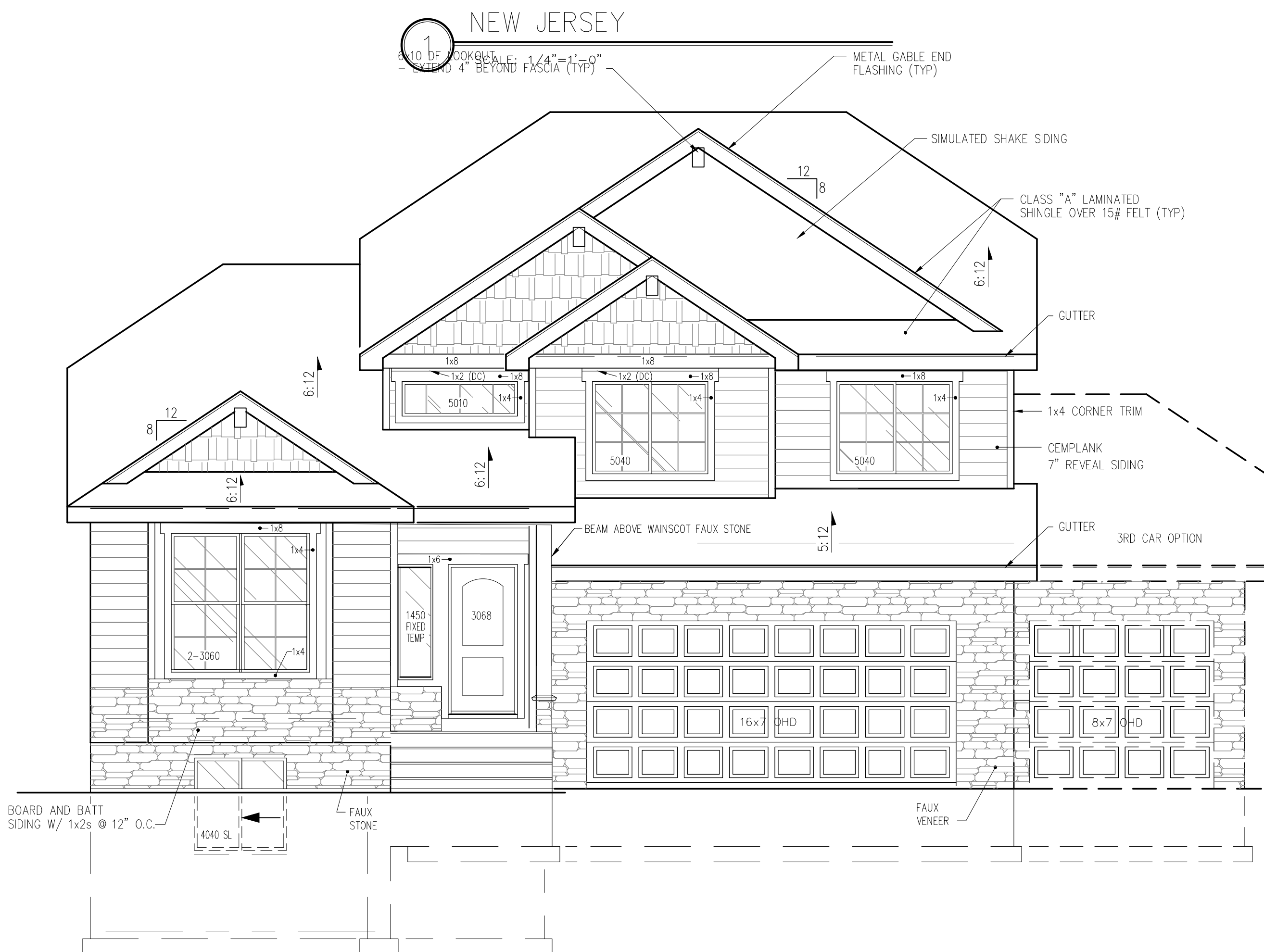
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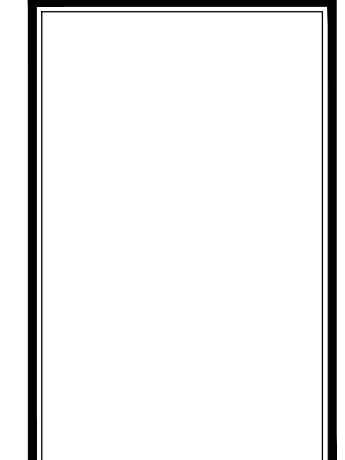
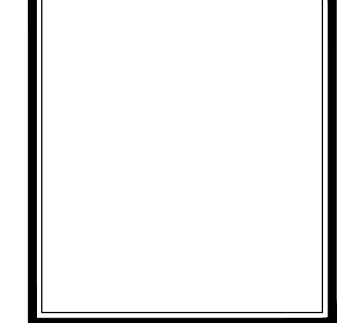
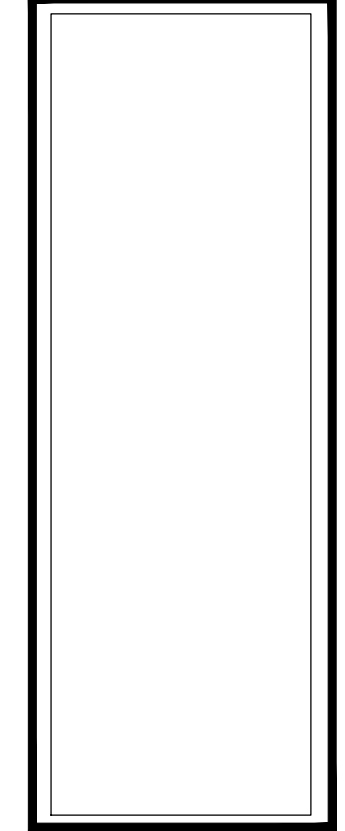
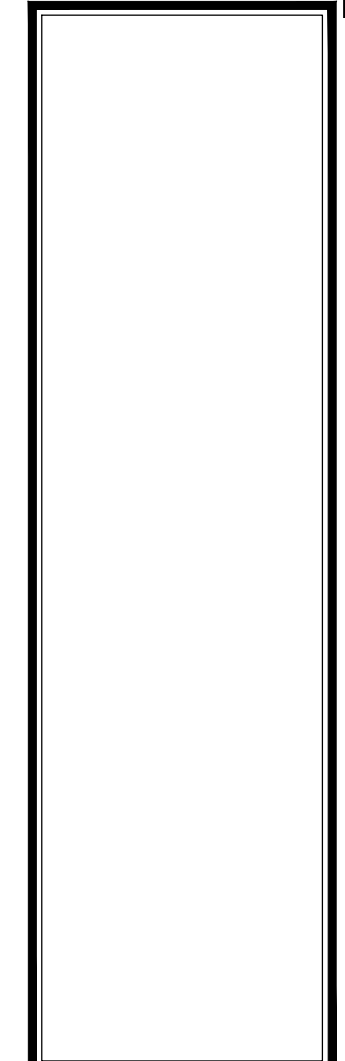
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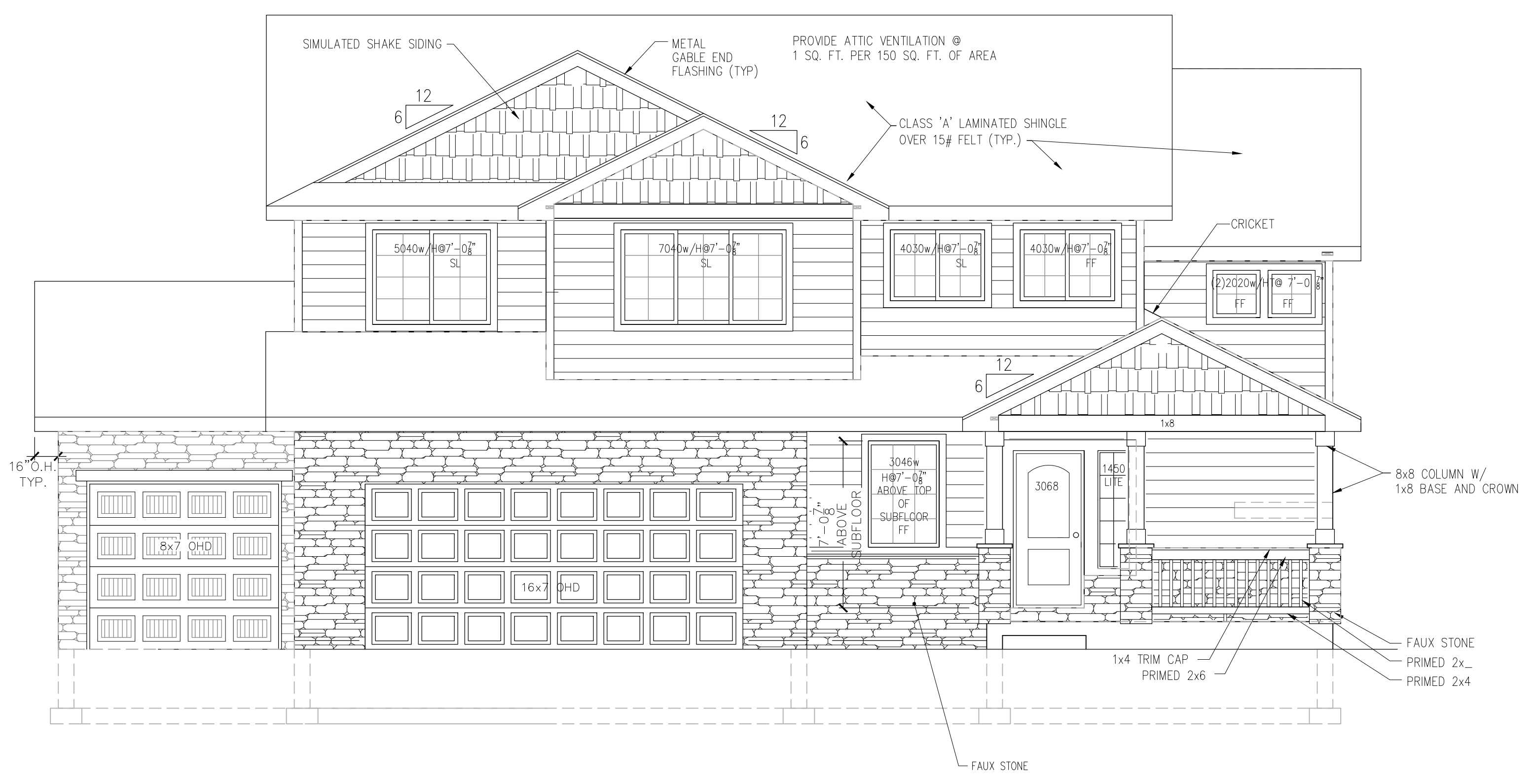
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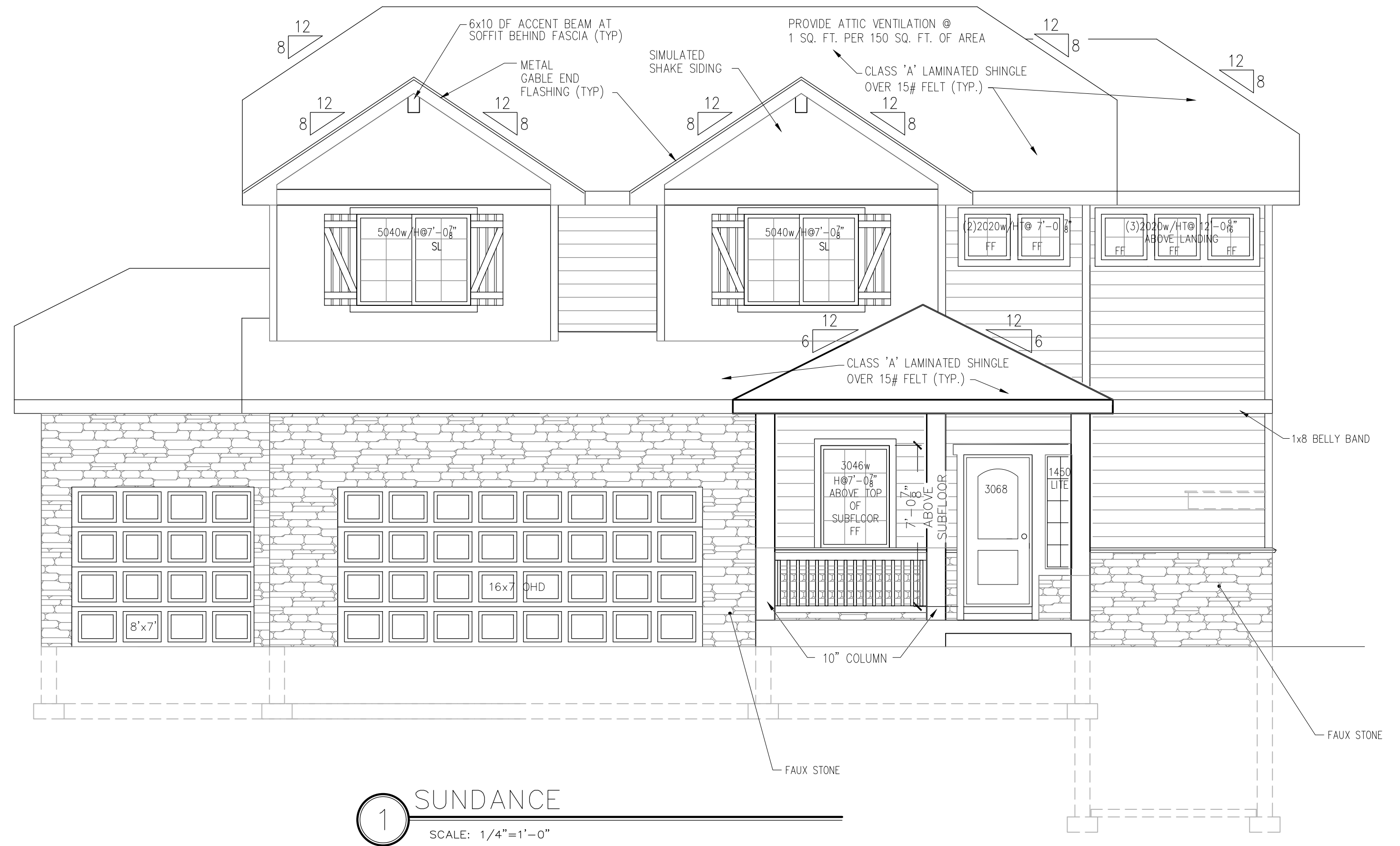
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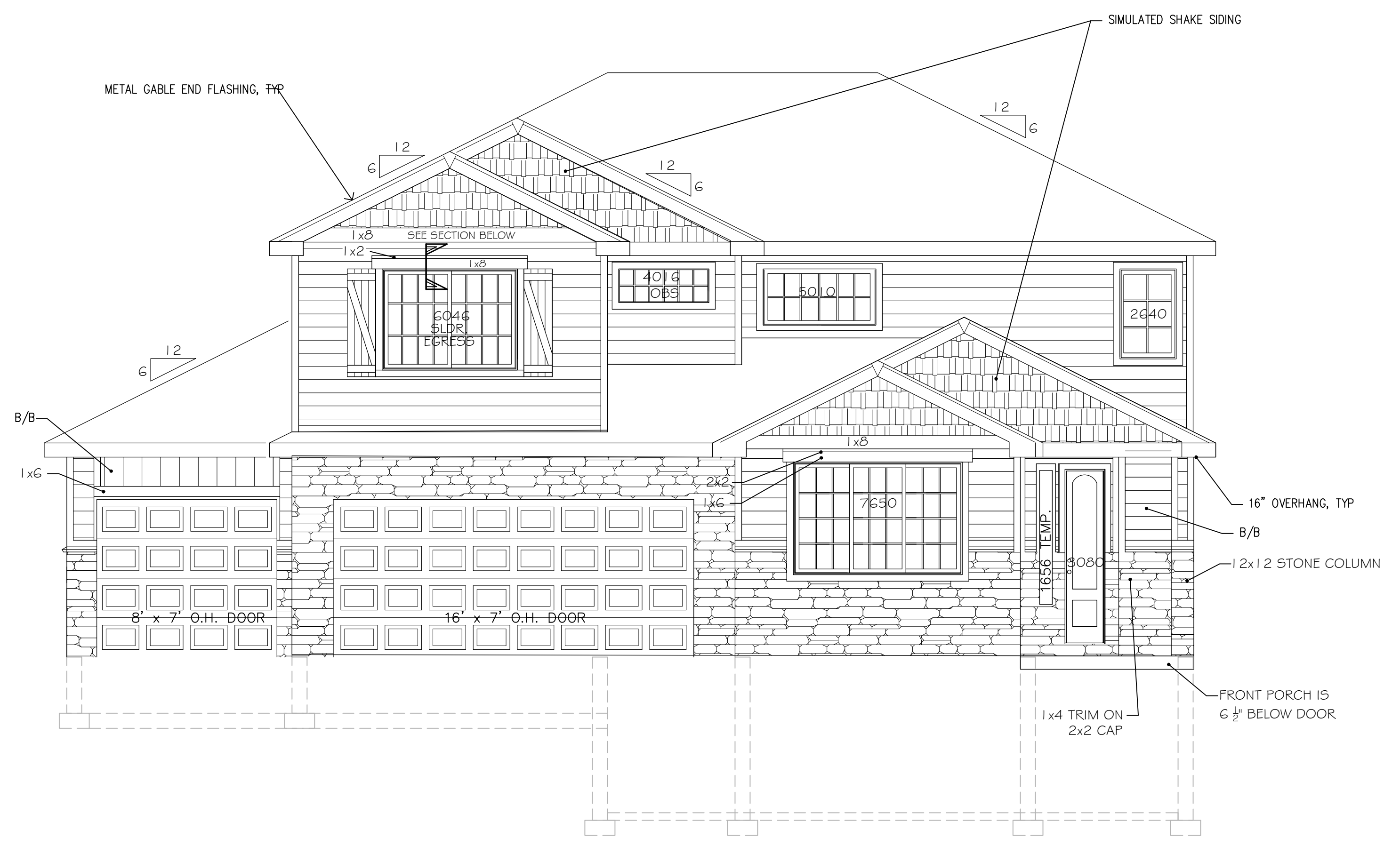
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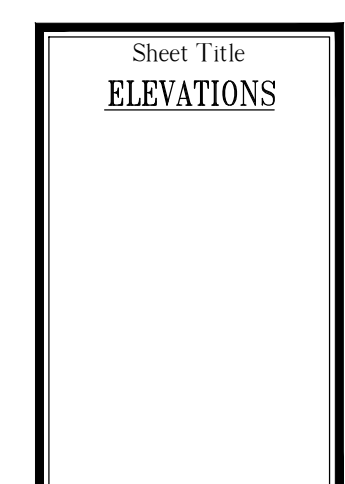
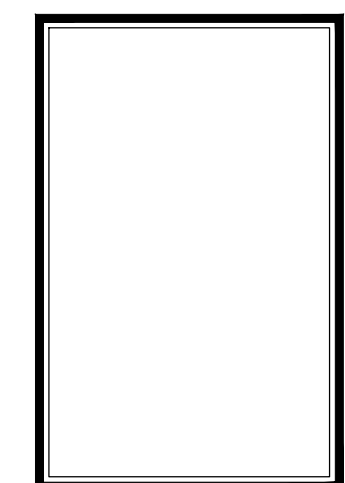
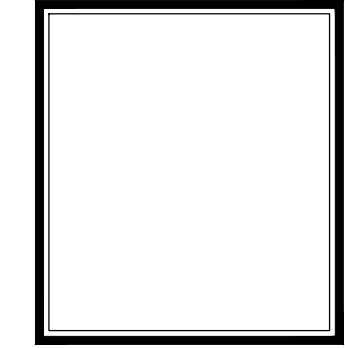
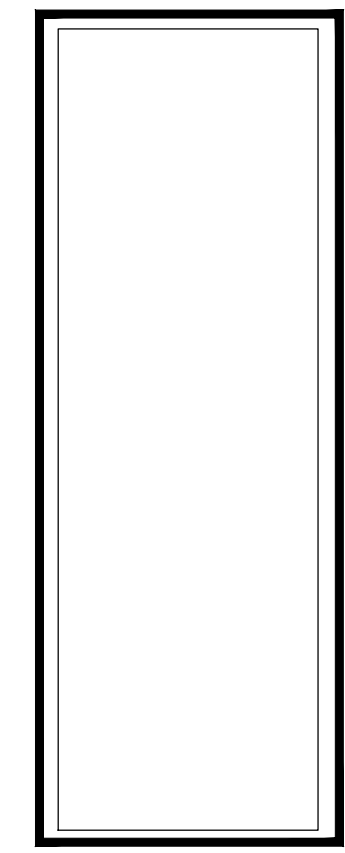
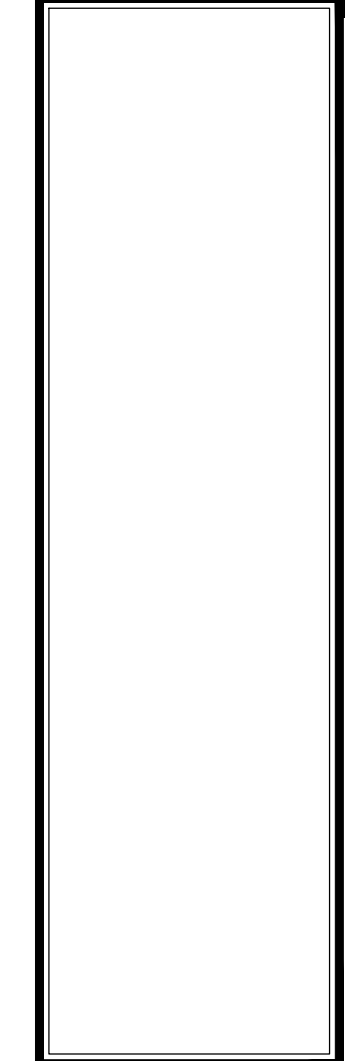
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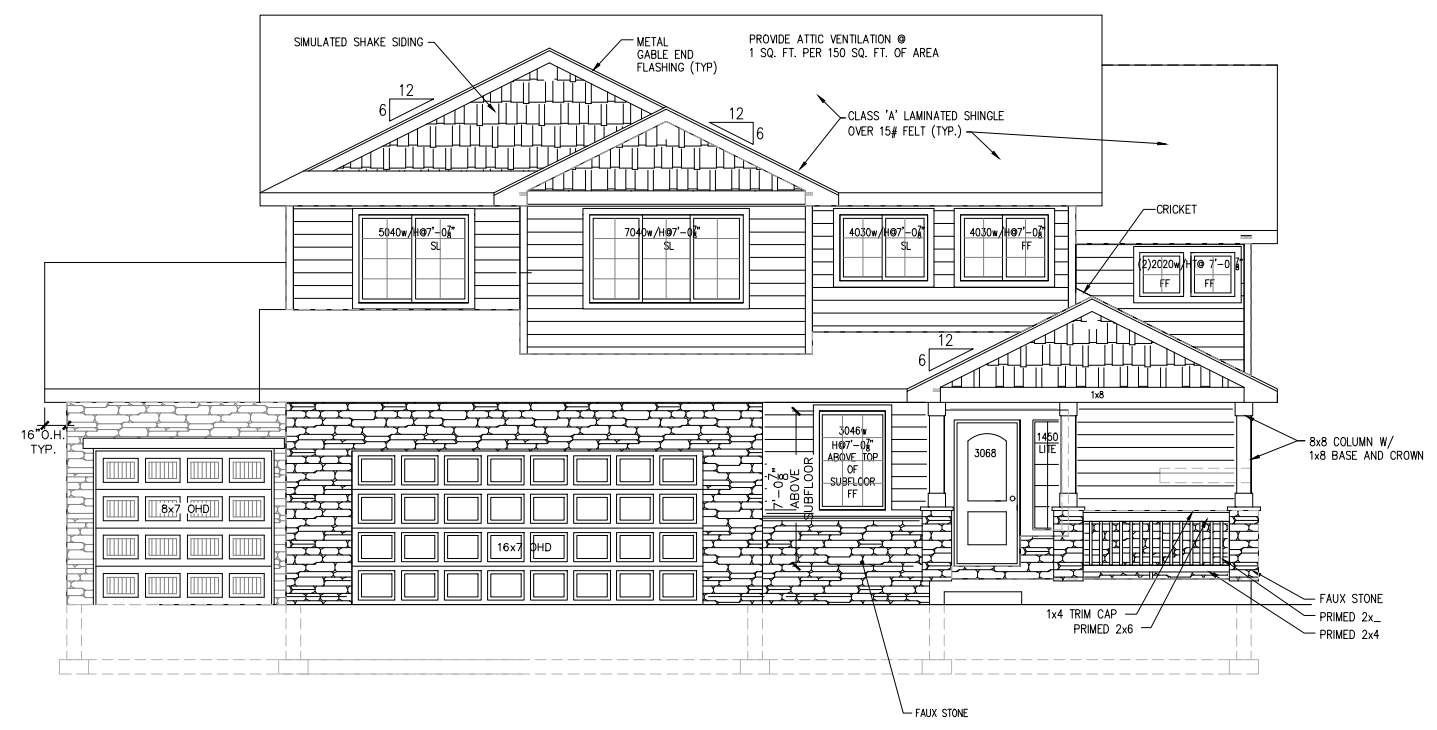
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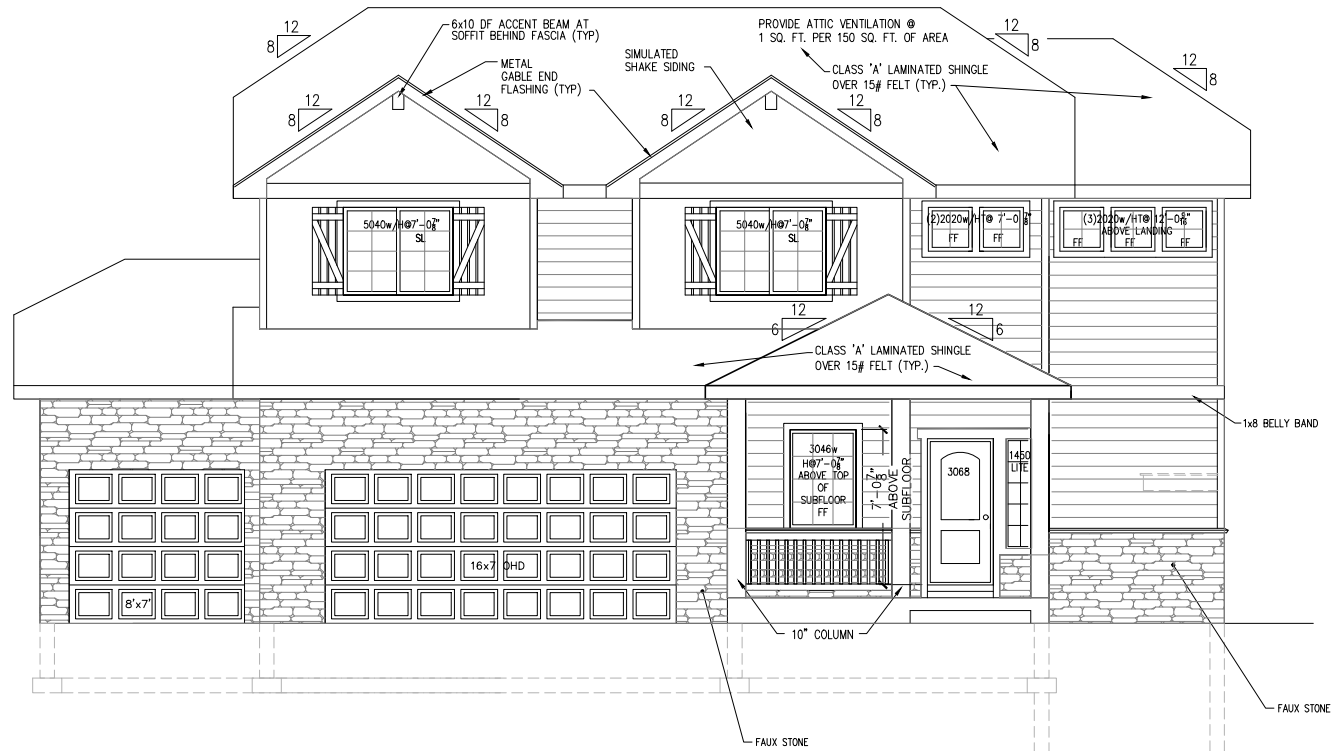
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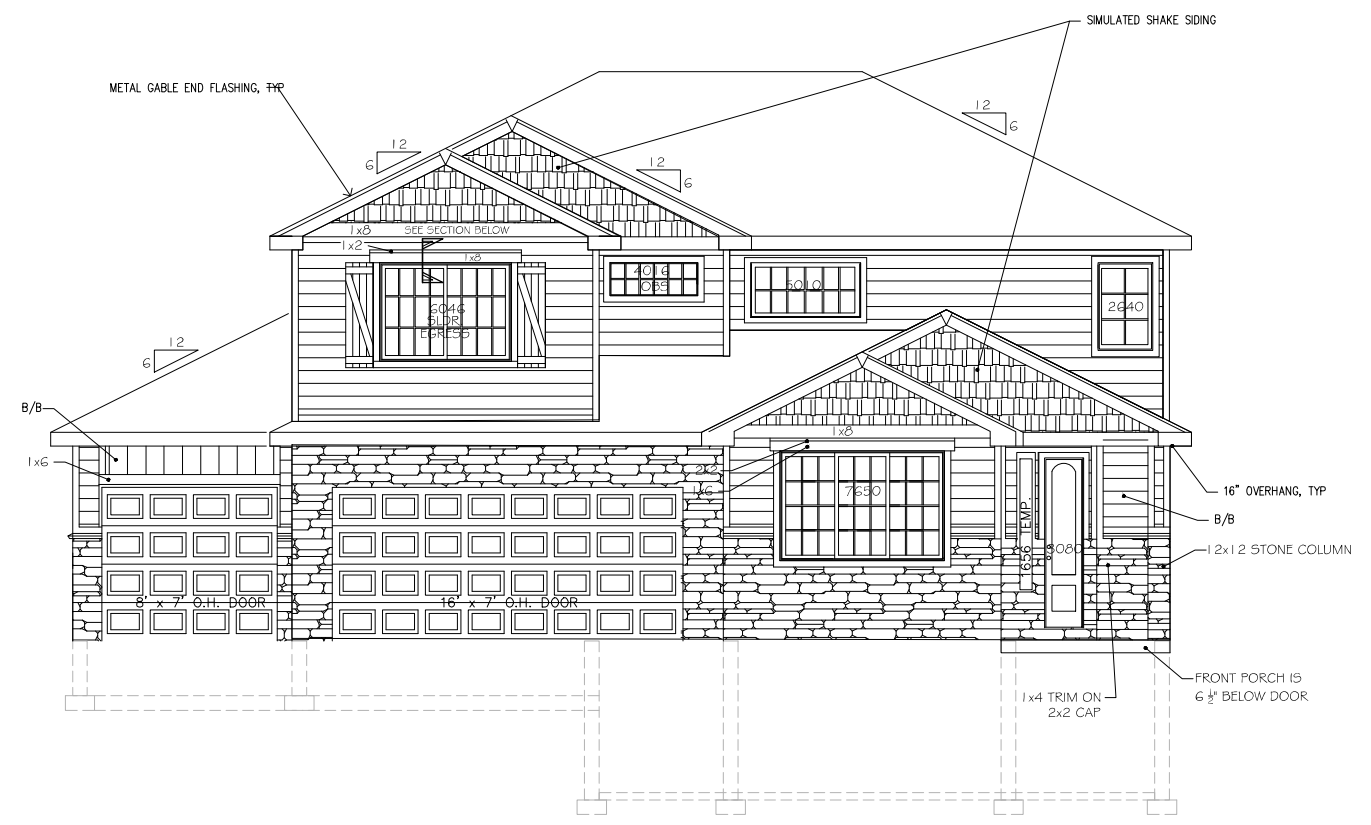
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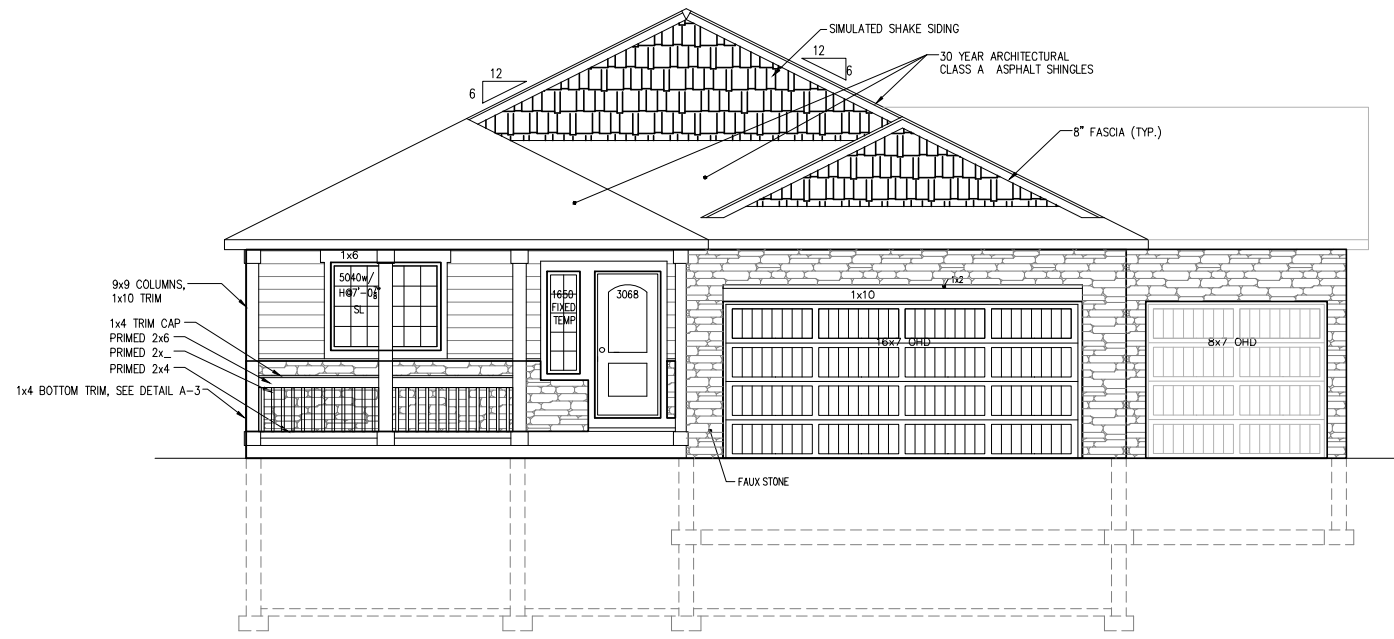


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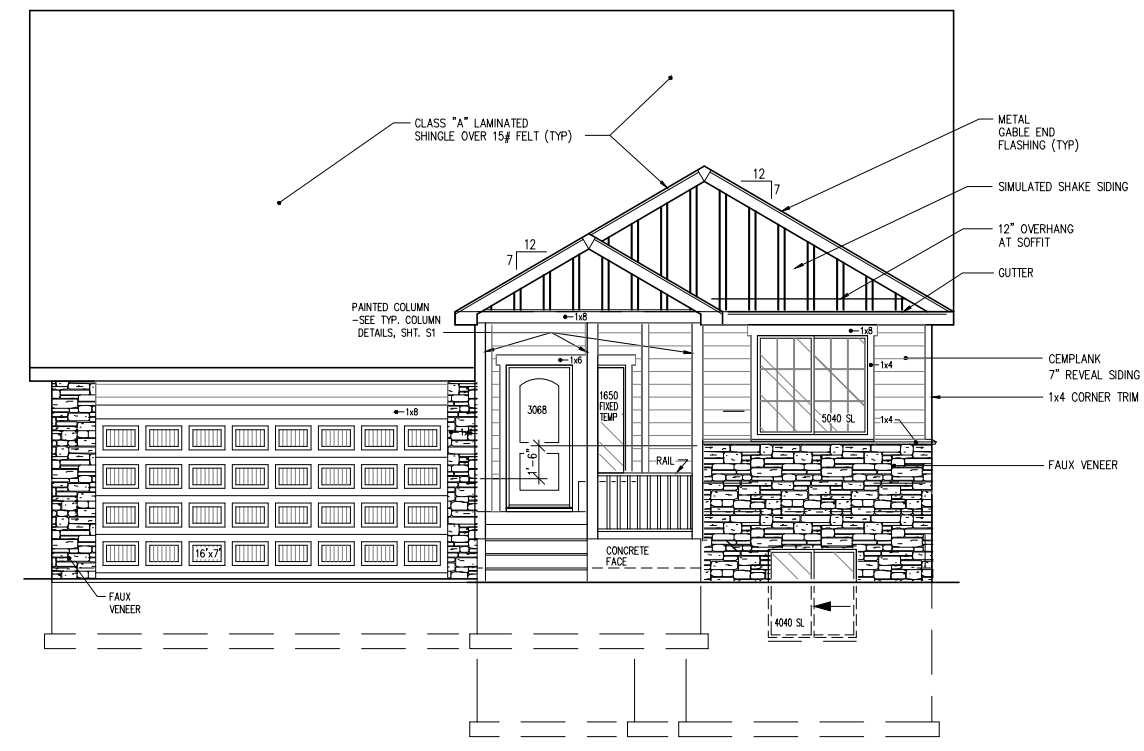


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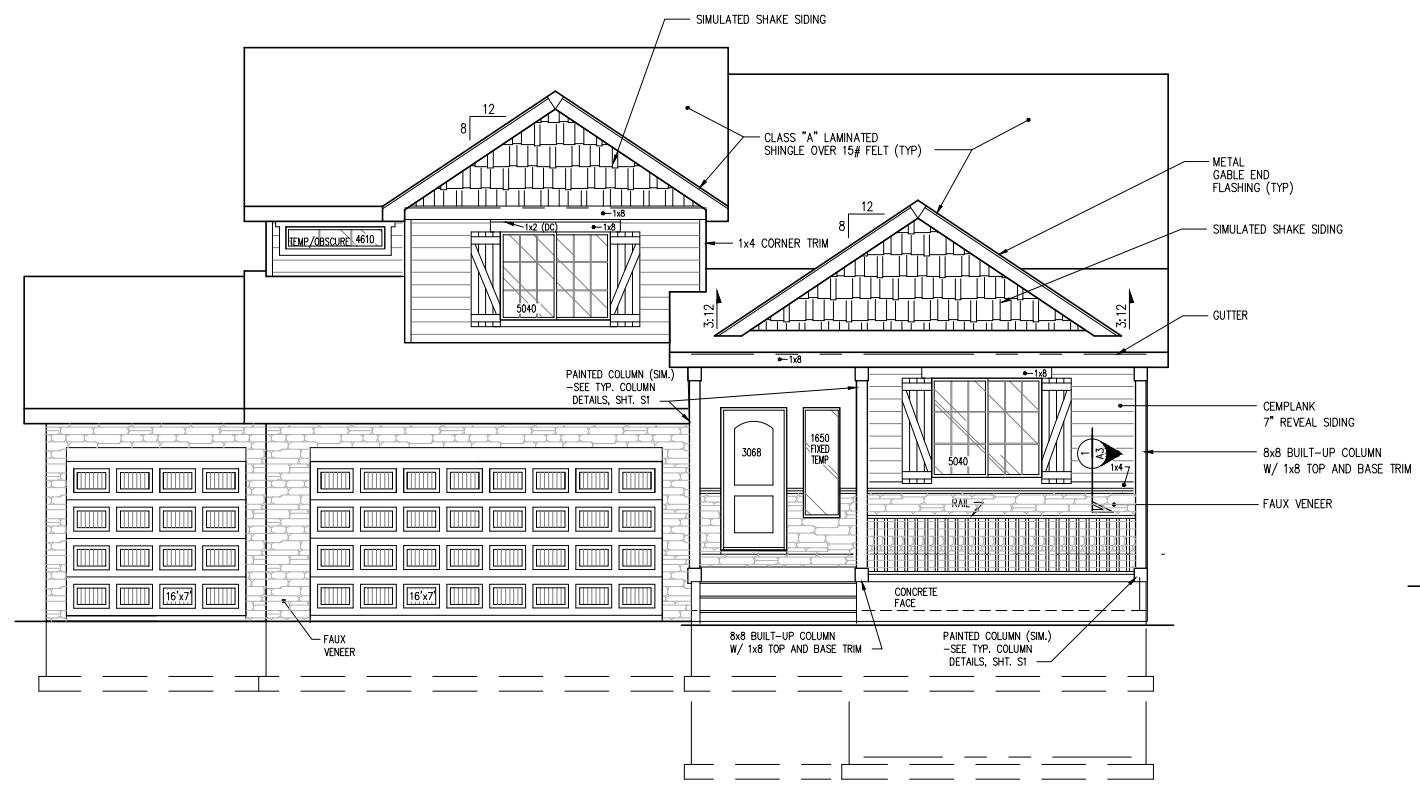
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Sheet Number	12 of 12



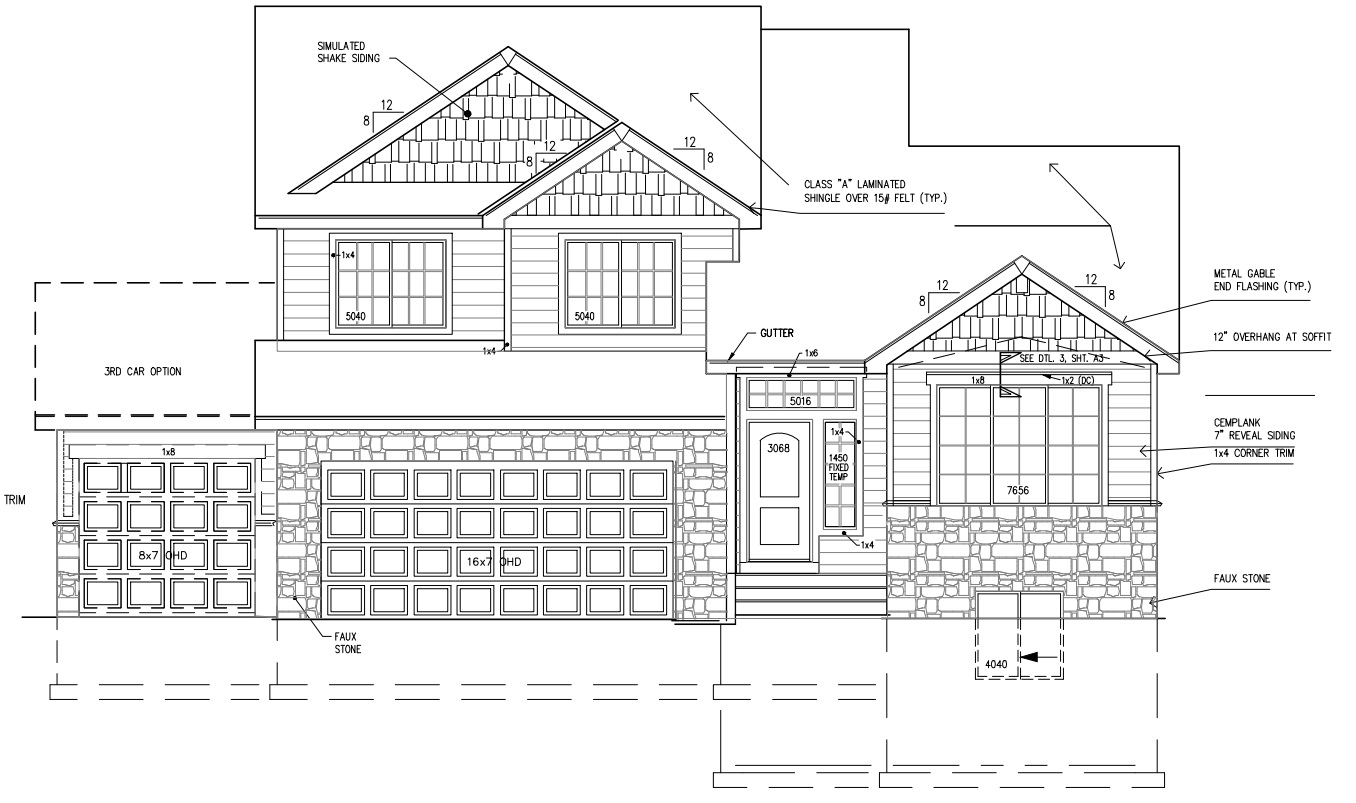
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CLASSIC SERIES

Sheet Title
ELEVATIONS
FRONT ELEVATION

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Revised	By	Date



Town of Johnstown

PLANNING & ZONING COMMISSION STAFF ANALYSIS REPORT

ITEM: Public Hearing and Consideration of the Preliminary Subdivision Plat and Preliminary Development Plan for Revere North

PROJECT NO: SUB23-0014

PARCEL NOs: 8536300002, 8536300001, 8535000002, 8535000003

DESCRIPTION: Subdivision of 309.4 acres, illustrating large tracts for future subdivision and development, street right-of-way, and an initial Single-Family residential area with 339 lots

LOCATION: North of Weld Co Rd 50 / Larimer Co Rd 14 (Veteran’s Parkway), near future High Plains Blvd. alignment

OWNER: Forestar Real Estate Group, LLC

APPLICANT: Forestar (USA) Real Estate Group, LLC

STAFF: Tyler Smith, Planner II

HEARING DATE: August 23, 2023

ATTACHMENTS

- 1. Vicinity Map
- 2. Preliminary Plat
- 3. Preliminary Development Plan
- 4. Architectural Elevations

EXECUTIVE SUMMARY

The Applicant, Forestar Real Estate Group, LLC., requests the approval of a Preliminary Plat and Preliminary Development Plan for a 309.4 acre parcel in Larimer County. The applicant proposes 253 single-family detached units and 86 alley-loaded duplex/paired units for a total of 339 residential units in the initial phase, with right-of-way shown for major streets, large tracts for future development, and numerous outlots for easements, landscaping, open space/parks, utilities, and drainage (Attachment 2).

EXISTING ZONING: PD - Great Plains Estates Planned Unit Development & ODP

ADJACENT ZONING & LAND USE:

North: Larimer County - Agriculture

East: Larimer County - Agriculture

South: Revere Filing No 1 Subdivision and High Plains Estates PD/ODP

West: Great Plains Village PD/ODP – future “employment” land uses

Floodplain: FIRM Panel #08069C1405G
Area X - Area of Minimal Flood Hazard

Oil & Gas: Five Plugged and Abandoned wells exist in the center of the western half of the overall site; with several never-drilled “Abandoned Locations” on the east.

Ditches: A lateral ditch runs along a portion of the south-eastern boundary, adjacent to the existing county residences

PROPERTY LAND USE HISTORY

The property comprising Revere North subdivision was annexed into the Town of Johnstown in 2005 under the GHB Annexation No. One and GHB Annexation No. Two, with Ordinance 2005-755. The Great Plains Village Outline Development Plan (ODP) amended any prior ODP in 2019.

SUBMITTAL AND REFERRALS

This project submittal included the proposed subdivision and development plan sets, as well as full engineering plans and reports (i.e., grading, drainage, soils, utility, water) for the site. The project was referred to and reviewed by:

- Johnstown Public Works & Utilities Departments
- Felsburg Holt & Ullevig (Town Traffic Engineer)
- Helton & Williamsen (Raw Water Engineer)
- IMEG (Town Engineer)
- JUB (Water System Engineer)
- FRFR (Fire District)
- Weld County School District RE-5J
- Little Thomson Water District

PROJECT DESCRIPTION & ANALYSIS

The proposed subdivision provides the concept and intent for a future Final Subdivision & Development Plan to create a mixed use community, starting on the eastern portion of the property with single family residential lots and paired homes, consisting of 339 single-family homes. The subdivision would also create twenty outlots in this area, totaling 30.13 acres for easements, landscaping, open space, detention, and pedestrian access. An amenity center is proposed to serve the entire Revere North subdivision. There is also an active park area located in Outlot Q and a proposed parking area and dog park located in Outlots P & T (Attachment 2).

The subdivision proposes a mix of single-family detached lots with ranging from 6000 to over 7,000 square foot (SF) lots as well as 2,000 SF alley-loaded duplex lots (25' x 80'), with the following breakdown:

RESIDENTIAL LOT TYPE DATA				
PLANNING AREA	ACRES	HOUSING TYPE	# OF UNITS	% OF UNITS
PA-4A	12.6	SINGLE FAMILY DETACHED <6,000 S.F.	17	5.0%
		SINGLE FAMILY DETACHED 6,000-7,000 S.F.	38	11.2%
		SINGLE FAMILY DETACHED >7,000 S.F.	24	7.1%
<i>SUBTOTAL</i>	12.6		79	23.2%
PA-5	12.5	SINGLE FAMILY DETACHED <6,000 S.F.	15	4.4%
		SINGLE FAMILY DETACHED 6,000-7,000 S.F.	40	11.8%
		SINGLE FAMILY DETACHED >7,000 S.F.	24	7.1%
<i>SUBTOTAL</i>	12.5		79	23.2%
PA-7	5.0	SINGLE FAMILY ATTACHED	86	25.3%
	14.4	SINGLE FAMILY DETACHED <6,000 S.F.	53	15.6%
		SINGLE FAMILY DETACHED 6,000-7,000 S.F.	21	6.2%
		SINGLE FAMILY DETACHED >7,000 S.F.	21	6.2%
<i>SUBTOTAL</i>	19.4		181	53.2%
AMENITY SITE			1	0.3%
TOTAL	44.5		340	100.0%

Overall this mix provides for 25% attached homes; 34.7% lots less than 6,000 SF; 29.1% 6,000-7,000 SF; and 20.3% over 7,000 SF. The architecture provided is conceptual only, and depicts four “character elevations” of the duplex/paired homes, and the single family homes. Final architectural elevations will be provided with Final Development Plans and/or reviewed by Town Staff prior to construction (Attachment 4).

The development also proposes a 4.5-acre lot for an amenity site, which will be a focal point from the access from Veterans Parkway on the east, and ultimately somewhat centered in the overall neighborhood. There is also internal trail network that connects the outlots and pocket parks provided. Common open space areas are provided throughout the developed area and provide community activities for residents and future residents. Outlots will contain the requisite access, drainage, emergency, maintenance and utility easements and open space.

The development will contain a mixture of landscape materials, including small areas of irrigated turf, rock and wood mulch, and native grass. The outlots will be designated open space and detention areas and will be irrigated and maintained by a metro district or homeowners association (Attachment 3).

On Sheet L.24 of the Preliminary Development Plan (Attachment 3) a parking plan is shown, illustrating 10 off-street parking spaces integrated into the private drive by the paired homes, and showing the available on-street parking near the site resulting in a total of 91 spaces, in addition to the 2 car garages and full size driveways planned for those units.

Overall, Staff has no significant outstanding concerns with this preliminary plat and development plan, and believes it will promote the Town's goals of diverse housing types, walkable neighborhoods, efficient development patterns and logical extension of infrastructure. On a neighborhood level, it will play a significant role establishing a community and support future development and extension of the infrastructure for the Great Plains Village ODP area, planned to include a mix of compatible land uses.

PUBLIC NOTICE

Notice for the Planning & Zoning Commission hearing was published in the Johnstown Breeze, on Thursday, August 10, 2023. This notice provided the date, time, and location of the Planning and Zoning Commission hearing, as well as a description of the project. Notices were mailed to all property owners within 800 feet of the property in question. This notice included a vicinity map and the proposed subdivision map.

Neighborhood meetings were held in person (one-on-one) with adjacent property owners in Fall of 2022 to address specific issues, as well as at Town Hall on September 22, 2022, for all owners and residents within 500 feet of the property (prior standard). Comments from the meeting indicated concerns with more urban-level development occurring along WCR50/LRC14 and the higher volume of traffic that is already affecting that corridor. Several folks noted faster driving speeds since the road was paved. The High Plains Blvd. extension was discussed, and overall development in Johnstown, as well as the opportunity for additional value for adjacent properties with the development and new infrastructure.

RECOMMENDED FINDINGS, CONDITIONS, AND MOTIONS

Recommended Findings

It is recommended that Planning and Zoning Commission send a recommendation for Approval to Town Council, that the requested Preliminary Plat and Preliminary Development Plan for the Revere North Subdivision be approved based upon the following findings:

1. The proposed subdivision is consistent with the Johnstown Comprehensive Plan.
2. The proposed subdivision is in substantial compliance with the applicable Great Plains Village Outline Development Plan, Town's codes, regulations, and requirements.
3. The proposed subdivision will meet the needs of the community by providing diverse single-family housing. This type of development features an appropriate neighborhood design which meets and exceeds the expectations for new development in Town, offering compatibility with existing and proposed nearby developments.
4. The proposed subdivision will provide for the planned extension of High Plains Boulevard, and connecting roadways, as well as major water and sewer infrastructure in this area of Johnstown.

Recommended Motion to Approve:

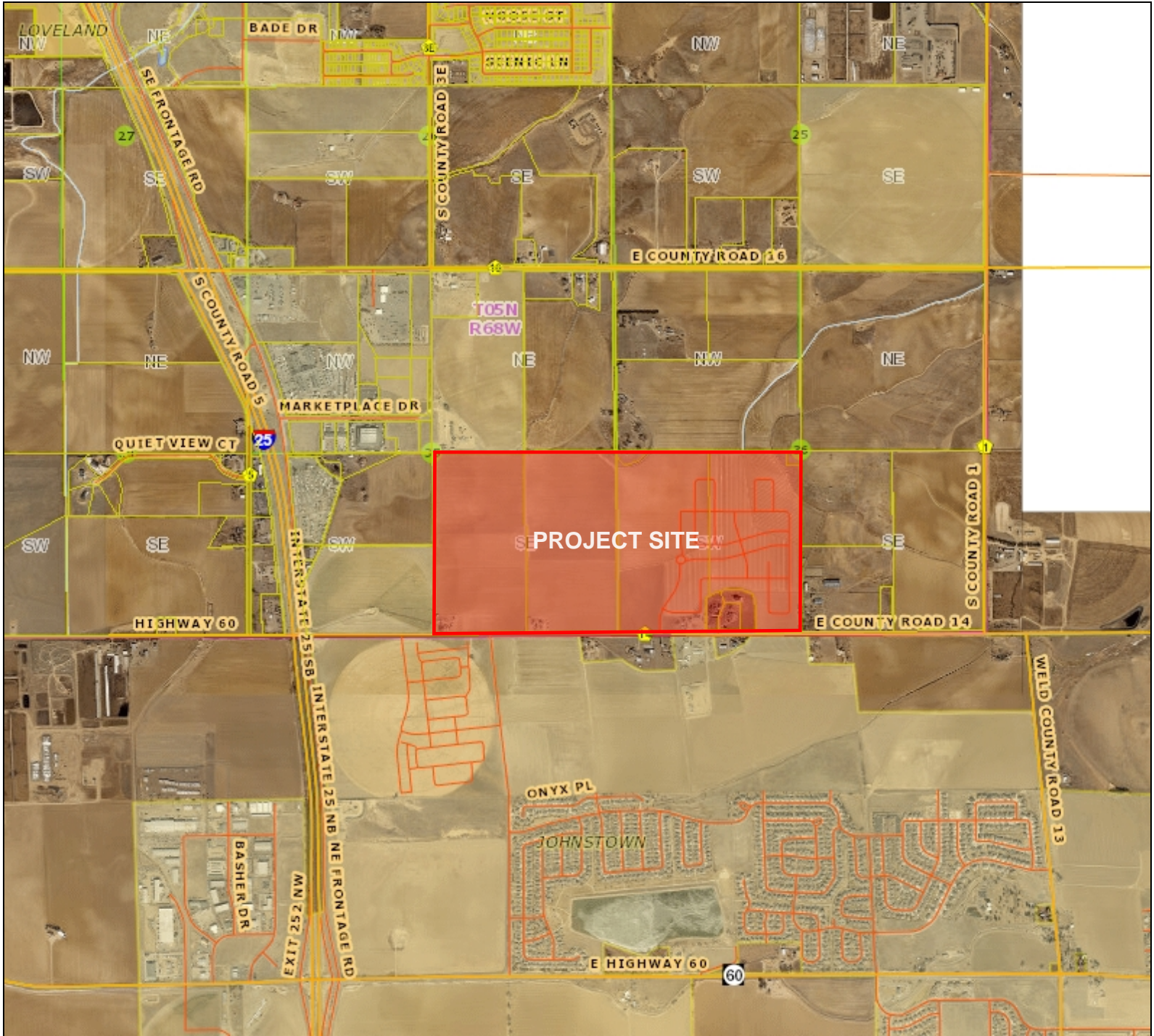
Based on the application received, information provided at this hearing, and findings noted, I move that the Planning & Zoning Commission recommend to the Town Council Approval of the Preliminary Plat and Preliminary Development Plan for the Revere North Subdivision.














Alternative Motions:***Motion to Recommend Approval with Conditions***

Based on the application received, information provided at this hearing, and findings noted, the Planning & Zoning Commission moves to recommend to the Town Council Approval of the Preliminary Plat and Preliminary Development Plan for Revere North subdivision, with the following conditions:

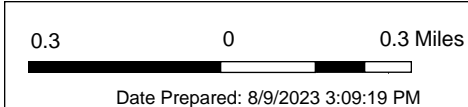
Motion to Recommend Denial

I move that the Commission recommend to the Town Council Approval of the Preliminary Plat and Preliminary Development Plan for Revere North Subdivision, based on the following findings:



Legend		
 Tax Parcels	 Incorporated Areas	COLARI21-SID-LTD-2INCH.sid
 Railroads	 PLSS Township and Range	 Red: Band_1
 Major Road System	 PLSS Sections	 Green: Band_2
 Road System	 PLSS Quarter Sections	 Blue: Band_3
 Lakes and Ponds	 City or Town	COLARI21-SID-AW-6INCH.sid

Notes



Scale
1: 24,000



This map was created by Larimer County GIS using data from multiple sources for informal purposes only. This map may not reflect recent updates prior to the date of printing. Larimer County makes no warranty or guarantee concerning the completeness, accuracy, or reliability of the content represented.

Date Prepared: 8/9/2023 3:09:19 PM



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Table with columns: No., Rev. Date, Revision Type, DSR, Job No., Scale Horiz, Date. Includes revision history and project details.

REVERE NORTH FILING NO. 1 TOWN OF JOHNSTOWN, COLORADO PRELIMINARY PLAT

REVERE NORTH FILING NO. 1

A PARCEL OF LAND SITUATE IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 35 AND THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 5 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF JOHNSTOWN, COUNTY OF LARIMER, STATE OF COLORADO

OWNERSHIP AND DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED, BEING THE OWNERS, AND/OR LIEN HOLDER OF THAT PART OF THE SOUTHWEST QUARTER OF SECTION 35 AND THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 5 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF JOHNSTOWN, COUNTY OF LARIMER, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: THE SOUTH LINE OF SAID SOUTHWEST QUARTER OF SECTION 36 IS ASSUMED TO BEAR SOUTH 89°46'47" WEST, AS MONUMENTED ON THE EAST BY A 3.25" ALUMINUM CAP STAMPED, "MANHARD PLS 38361, 2022" IN A MONUMENT BOX AND ON THE WEST BY A 3.25" ALUMINUM CAP STAMPED, "MANHARD PLS 38361, 2022" IN A MONUMENT BOX;

BEGINNING AT THE SOUTH QUARTER CORNER OF SAID SECTION 36; THENCE SOUTH 89°46'47" WEST ALONG THE SOUTH LINE OF SAID SOUTHWEST QUARTER, A DISTANCE OF 637.21 FEET TO A POINT ON THE SOUTHERLY EXTENSION OF THE EASTERLY LINE OF HERRERA SUBDIVISION RECORDED OCTOBER 19, 2011, AT RECEPTION NO. 20110063884, IN THE RECORDS OF THE LARIMER COUNTY CLERK AND RECORDER'S OFFICE;

THENCE ALONG SAID SOUTHERLY EXTENSION OF THE EASTERLY LINE AND CONTINUING ALONG THE EASTERLY, NORTHERLY AND WESTERLY LINES OF SAID HERRERA SUBDIVISION, THE FOLLOWING SEVEN (7) COURSES:

- 1. NORTH 02°08'46" WEST, A DISTANCE OF 387.72 FEET;
2. NORTH 11°38'22" WEST, A DISTANCE OF 190.78 FEET;
3. NORTH 67°47'19" WEST, A DISTANCE OF 190.49 FEET;
4. SOUTH 89°36'34" WEST, A DISTANCE OF 206.85 FEET;
5. SOUTH 72°19'30" WEST, A DISTANCE OF 176.98 FEET;
6. SOUTH 59°56'08" WEST, A DISTANCE OF 142.24 FEET;
7. SOUTH 00°12'21" EAST, ALONG THE WESTERLY LINE AND THE SOUTHERLY EXTENSION OF SAID LINE A DISTANCE OF 522.70 FEET TO SAID SOUTH LINE;

THENCE SOUTH 89°46'47" WEST ALONG SAID SOUTH LINE, A DISTANCE OF 1,277.82 FEET TO THE SOUTHEAST CORNER OF SAID SECTION 35;

THENCE SOUTH 89°47'38" WEST ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 35, A DISTANCE OF 2,641.25 FEET TO THE SOUTH QUARTER CORNER OF SAID SECTION 35;

THENCE NORTH 00°03'53" WEST ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 35, A DISTANCE OF 1,319.99 FEET TO THE CENTER-SOUTH SIXTEENTH CORER OF SAID SECTION 35;

THENCE N 00°31'37" WEST ALONG THE WEST LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 35, A DISTANCE OF 1,320.01 FEET TO THE CENTER QUARTER CORNER OF SAID SECTION 35;

THENCE N 89°40'08" EAST ALONG THE NORTH LINE OF WEST HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 35, A DISTANCE OF 1,313.54 FEET TO THE CENTER-EAST SIXTEENTH CORNER OF SAID SECTION 35;

THENCE NORTH 89°39'02" EAST ALONG THE NORTH LINE OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 35, A DISTANCE OF 1,313.57 FEET TO THE EAST QUARTER CORNER OF SAID SECTION 35, ALSO BEING A POINT ON THE WESTERLY BOUNDARY OF THAT PROPERTY DESCRIBED IN BOOK 214 AT PAGE 583, IN THE RECORDS OF THE LARIMER COUNTY CLERK AND RECORDER'S OFFICE;

THENCE ALONG THE WESTERLY, SOUTHERLY AND EASTERLY BOUNDARIES OF SAID PROPERTY THE FOLLOWING FIVE (5) COURSES:

- 1. SOUTH 00°49'35" EAST, A DISTANCE OF 59.31 FEET;
2. SOUTH 41°59'06" EAST, A DISTANCE OF 205.98 FEET;
3. NORTH 71°59'38" EAST, A DISTANCE OF 215.04 FEET;
4. NORTH 44°48'07" EAST, A DISTANCE OF 164.98 FEET;
5. NORTH 24°08'49" EAST, A DISTANCE OF 32.73 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 36;

THENCE NORTH 89°52'50" EAST ALONG SAID NORTH LINE, A DISTANCE OF 2,196.57 FEET TO THE CENTER QUARTER CORNER OF SAID SECTION 36;

THENCE SOUTH 00°12'51" EAST ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER SECTION 36, A DISTANCE OF 2,641.41 FEET TO THE POINT OF BEGINNING

CONTAINING A CALCULATED AREA OF 13,479,981 SQUARE FEET OR 309.458 ACRES, MORE OR LESS, BEING SUBJECT TO ANY EASEMENTS OR RIGHTS-OF-WAY OF RECORD;

HAVE BY THESE PRESETS, CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED INTO LOTS, BLOCKS, OUTLOTS AND STREET RIGHTS-OF-WAY, TO BE KNOWN AS REVERE NORTH FILING NO. 1, AND DO HEREBY DEDICATE TO THE TOWN OF JOHNSTOWN, FOREVER HEREAFTER, THE STREET RIGHTS-OF-WAY AND EASEMENTS AS INDICATED HEREON.

WITNESS OUR HANDS AND SEALS _____, DAY OF _____, 20_____.

OWNER: FORESTAR (USA) REAL ESTATE GROUP INC.

BY: _____

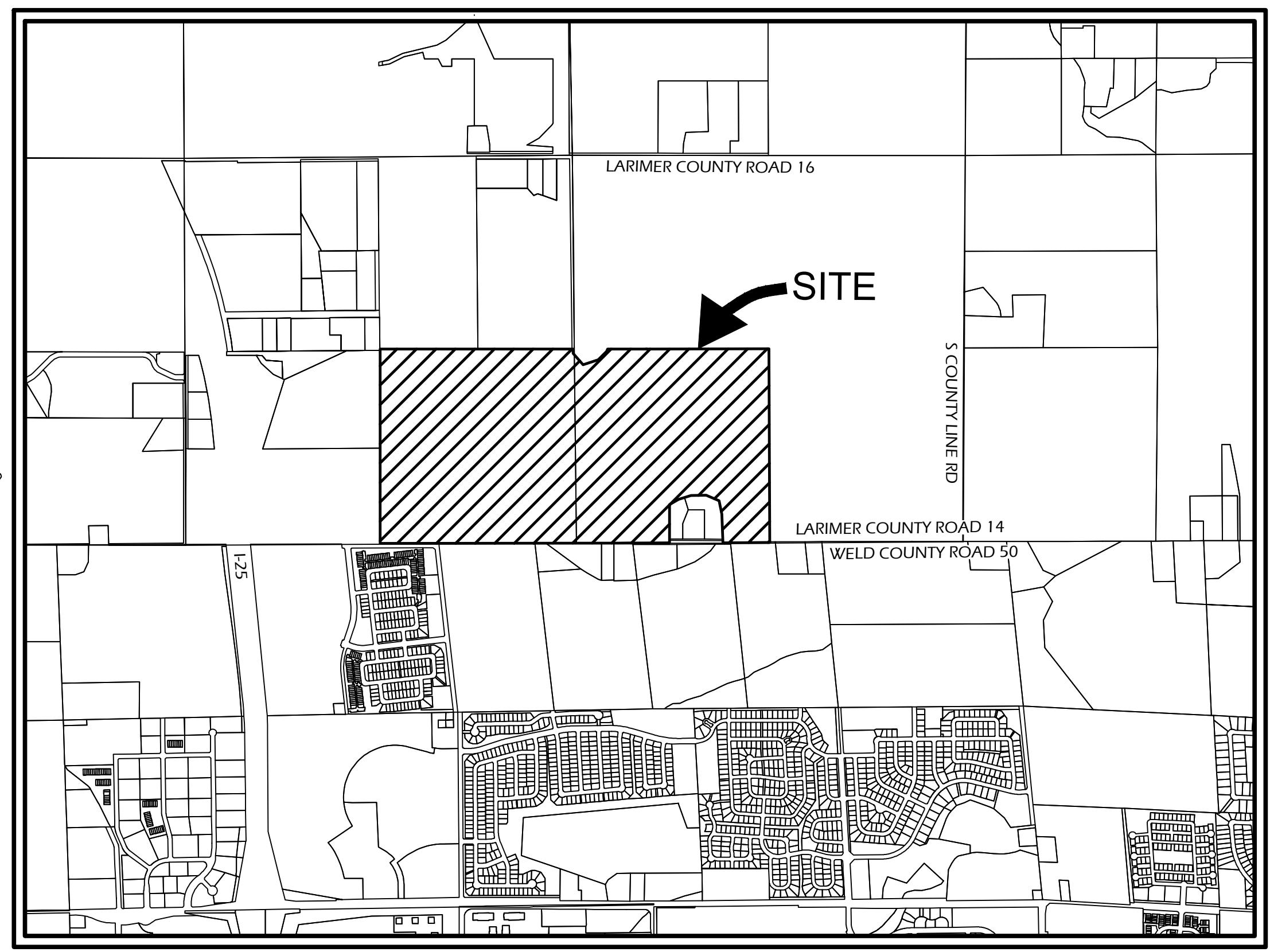
TITLE: _____

STATE OF _____

COUNTY OF _____

THE FOREGOING CERTIFICATE OF OWNERSHIP WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20_____.

BY _____ AS _____ OF FORESTAR (USA) REAL ESTATE GROUP INC.



VICINITY MAP SCALE: 1" = 1500' DISTRICT ACCEPTANCE

THE UNDERSIGNED _____ A QUASI-MUNICIPAL CORPORATION AND POLITICAL SUBDIVISION OF THE STATE OF COLORADO HEREBY ACKNOWLEDGES AND ACCEPTS THE GRANT OF EASEMENTS AS DESIGNATED AND SHOWN HEREON FOR MAINTENANCE RESPONSIBILITY AS SPECIFIED HEREON.

_____ A QUASI-MUNICIPAL CORPORATION AND POLITICAL SUBDIVISION OF THE STATE OF COLORADO

BY: _____

NAME: _____

AS: _____

THE FOREGOING CERTIFICATE OF OWNERSHIP WAS ACKNOWLEDGED BEFORE ME BY _____ AS _____ OF _____

THIS _____ DAY OF _____, 20_____.

WITNESS MY HAND AND SEAL: _____

NOTARY PUBLIC _____

MY COMMISSION EXPIRES _____

SHEET INDEX

Table with columns: SHEET NO., SHEET TITLE. Lists sheets 1-11 including COVER, OVERALL, LOT DETAILS, and EASEMENT DETAILS.

LAND USE TABLE with columns: LOT NO., SQ. FT., ACRES, %. Lists land use details for residential, amenity site, right of way area, tracts, outlots, and totals.

GENERAL NOTES

- 1. NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT...
2. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
3. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY LJA SURVEYING TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD...
4. THE LINEAL UNIT USED IN THE PREPARATION OF THIS SURVEY IS THE U.S. SURVEY FOOT AS DEFINED BY THE UNITED STATES DEPARTMENT OF COMMERCE, NATIONAL INSTITUTE OF STANDARDS AND TECHNOLOGY.
5. BASIS OF BEARINGS: THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 5S NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN IS ASSUMED TO BEAR SOUTH 89°46'47" WEST, AS MONUMENTED ON BOTH ENDS BY A NO. 6 REBAR WITH 3.25" ALUMINUM CAP STAMPED, "MANHARD PLS 38361, 2022" IN MONUMENT BOX.
6. FLOODPLAIN: THE SURVEYED PROPERTY IS LOCATED WITHIN ZONE X, OTHER AREAS — DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) ON FLOOD INSURANCE RATE MAP (FIRM) — MAP NUMBER 08069C1405G WITH A MAP REVISED DATE OF OF JANUARY 15, 2021.
7. STREET MAINTENANCE: IT IS MUTUALLY UNDERSTOOD AND AGREED THAT THE DEDICATED ROADWAYS SHOWN ON THIS PLAT WILL NOT BE MAINTAINED BY THE TOWN UNTIL AND UNLESS THE STREETS ARE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE TOWN OF JOHNSTOWN IN EFFECT AT THE DATE CONSTRUCTION PLANS ARE APPROVED BY THE TOWN ENGINEER...
8. DRIVES, PARKING AREAS AND UTILITY EASEMENTS MAINTENANCE: THE OWNERS OF THIS SUBDIVISION, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNERS(S), HOMEOWNER'S ASSOCIATION, METROPOLITAN DISTRICTS, OR OTHER ENTITY OTHER THAN THE TOWN IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF ANY AND ALL PRIVATE DRIVES, PARKING AREAS AND EASEMENTS (CROSS—ACCESS EASEMENTS, DRAINAGE EASEMENTS, ETC.)
9. LANDSCAPE MAINTENANCE: THE OWNERS OF THIS SUBDIVISION, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, ADJACENT PROPERTY OWNERS(S), HOMEOWNERS' ASSOCIATION, METROPOLITAN DISTRICTS, OR ENTITY OTHER THAN THE TOWN IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF PERIMETER FENCING OR WALLS, LANDSCAPING AND LANDSCAPED AREAS AND SIDEWALKS BETWEEN THE PROPERTY LINE AND ANY PAVED ROADWAYS...
10. SIGHT DISTANCE RESTRICTIONS: CONSISTING OF A 30 FOOT BY A 30 FOOT SIGHT DISTANCE TRIANGLE OR OF SUCH OTHER DIMENSIONS AS REQUIRED TO PROTECT SIGHT LINES, SHALL APPLY TO ALL LAND AREAS ADJACENT TO ALL PUBLIC AND PRIVATE ROAD INTERSECTIONS ON THIS PLAT...
11. PUBLIC SAFETY ACCESS, WHETHER FOR EMERGENCY OR NON-EMERGENCY PURPOSES, IS GRANTED OVER AND ACROSS ALL ACCESS WAYS FOR POLICE, FIRE AND EMERGENCY VEHICLES...
12. GENERAL OVERLOT DRAINAGE NOTE: LOTS AND TRACTS AS PLATTED HEREIN MAY BE REQUIRED TO CONVEY SURFACE DRAINAGE FROM OTHER LOTS AND TRACTS IN THIS FILING...
13. STORM SYSTEM MAINTENANCE: THE TOWN OF JOHNSTOWN REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM...
14. A DRAINAGE EASEMENT IS HEREBY GRANTED OVER THE ENTIRETY OF OUTLOT D AND E.
15. EMERGENCY ACCESS EASEMENTS ARE HEREBY GRANTED OVER THE ENTIRETY OF OUTLOT A, OUTLOT B, AND OUTLOT C.
16. PEDESTRIAN ACCESS EASEMENTS SHOWN HEREON ARE HEREBY GRANTED FOR PUBLIC PEDESTRIAN ACCESS.
17. TRACT A; TRACT B; TRACT C; TRACT D ARE RESERVED FOR FUTURE DEVELOPMENT. WATER DEDICATION FOR THESE TRACTS WILL BE SATISFIED CONCURRENT WITH THE RE-PLAT OF EACH RESPECTIVE LOT.
18. THIS FINAL PLAT IS UNDER TOWN OF JOHNSTOWN CASE NUMBER: SUB22-0007.

TOWN COUNCIL

THIS PLAT, TO BE KNOWN AS REVERE AT REVERE NORTH FILING NO. 1, IS APPROVED AND ACCEPTED BY THE TOWN OF JOHNSTOWN, BY RESOLUTION NUMBER _____ PASSED AND ADOPTED ON FINAL READING AT A REGULAR MEETING OF THE TOWN COUNCIL OF THE TOWN OF JOHNSTOWN, COLORADO.

HELD ON THE _____ DAY OF _____, 20_____.

BY: _____ MAYOR

BY: _____ TOWN CLERK

SURVEYOR'S CERTIFICATE

I DEREK S. BROWN, A DULY REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PLAT TRULY AND CORRECTLY REPRESENTS THE RESULTS OF A SURVEY MADE ON _____, BY ME OR UNDER MY DIRECT SUPERVISION AND THAT ALL MONUMENTS EXIST AS SHOWN HEREON; THAT MATHEMATICAL CLOSURE ERRORS ARE LESS THAN 1:50,000 (SECOND ORDER); AND THAT SAID PLAT HAS BEEN PREPARED IN FULL COMPLIANCE WITH ALL APPLICABLE LAWS OF THE STATE OF COLORADO DEALING WITH MONUMENTS, SUBDIVISIONS OR SURVEYING OF LAND AND ALL APPLICABLE PROVISIONS OF THE TOWN OF JOHNSTOWN PROVISIONS OF CHAPTER 17 - SUBDIVISIONS OF THE TOWN OF JOHNSTOWN MUNICIPAL CODE.

I ATTEST THE ABOVE ON THIS _____ DAY OF _____, 20_____.

DEREK S. BROWN COLORADO PLS NO. 38064 FOR AND ON BEHALF OF LJA SURVEYING 1765 WEST 121ST AVENUE, SUITE 300, WESTMINSTER, COLORADO 80234

REVERE NORTH FILING NO. 1

A PARCEL OF LAND SITUATE IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 35 AND THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 5 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF JOHNSTOWN, COUNTY OF LARIMER, STATE OF COLORADO

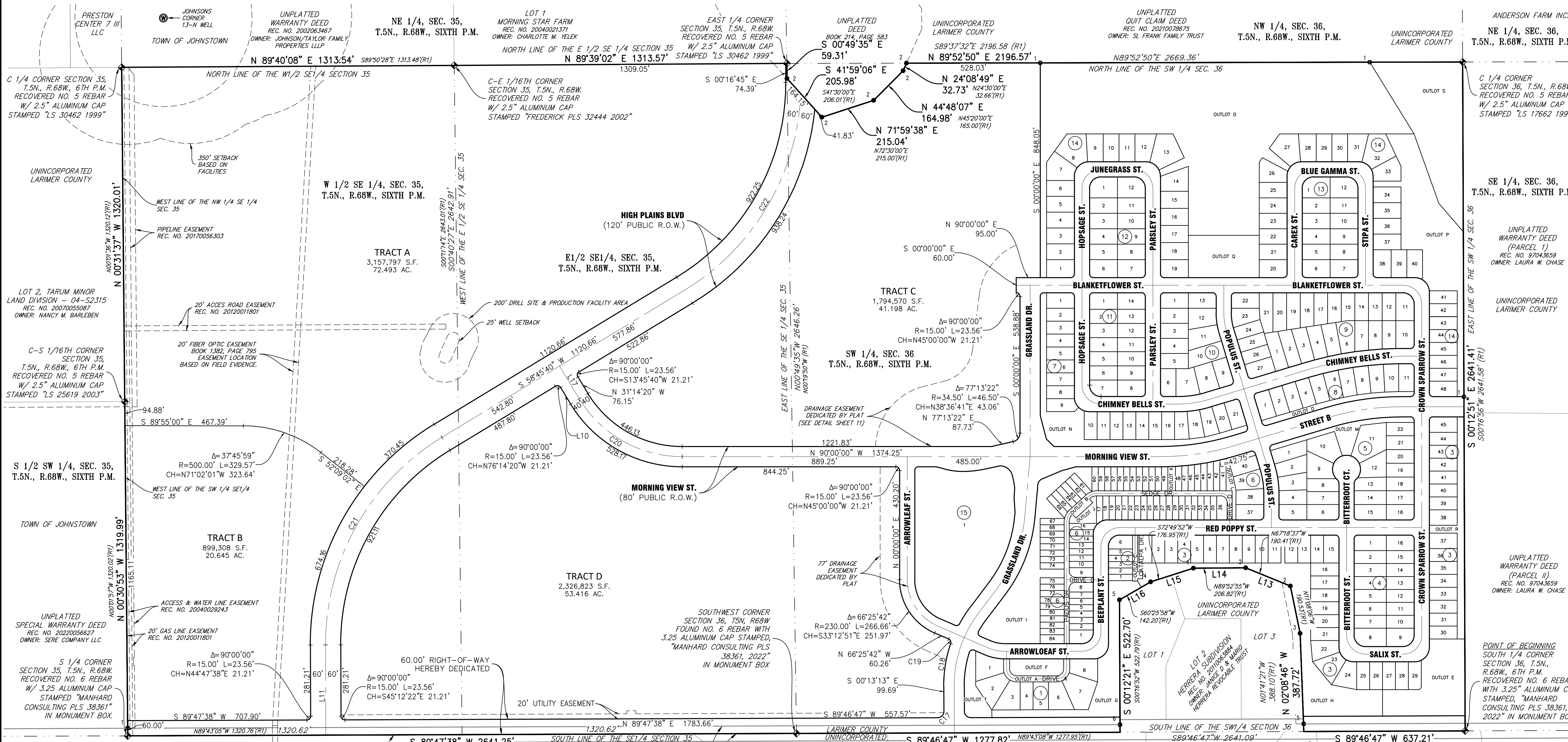


1765 W. 121st Avenue
Suite 300
Westminster, CO 80234
303-421-4224 • www.lja.com

No.	Rev. Date:	Revision Type:
1		
2		
3		
4		
5		
6		

DSR	Job No.: 1060-08	Sheet: 2 of 12	Date: FEBRUARY 8, 2023
Prepared:	Scale Horiz: N/A		
Approved:	DSB		

REVERE NORTH FILING NO. 1
TOWN OF JOHNSTOWN, COLORADO
PRELIMINARY PLAT



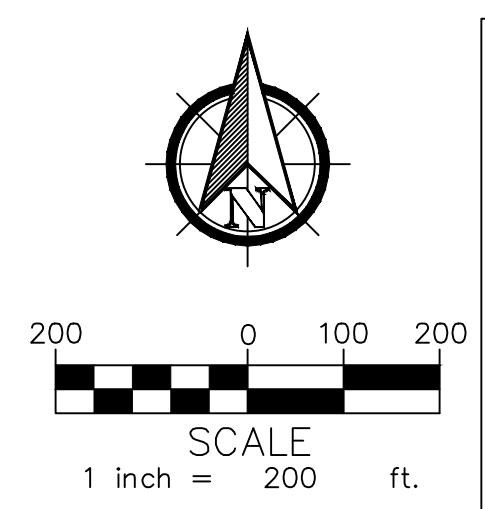
MONUMENT SYMBOL LEGEND

- RECOVERED SECTION CORNER AS NOTED HEREON
- RECOVERED NO. 5 REBAR WITH 1-1/4" RED PLASTIC CAP STAMPED "COLO PLS 16847"
- RECOVERED NO. 4 REBAR WITH 1" YELLOW PLASTIC CAP STAMPED "PLS 32444"
- RECOVERED NO. 4 REBAR WITH 1" YELLOW PLASTIC CAP STAMPING ILLEGIBLE
- RECOVERED NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPING ILLEGIBLE
- RECOVERED NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC STAMPED "KARSTEN 37881"
- RECOVERED NO. 5 REBAR WITH NO CAP
- SET 18" LONG NO. 5 REBAR WITH 1-1/4" ORANGE PLASTIC CAP STAMPED "LJA PLS 38064" FLUSH WITH GROUND
- RECORDED DIMENSION PER SPECIAL WARRANTY DEED, REC. NO. 20220035689

LINE	BEARING	DISTANCE
L10	S 31°14'20" E	76.15'
L11	S 00°12'22" E	356.27'
L13	N 67°47'19" W	190.49'
L14	S 89°36'34" W	206.85'
L15	S 72°19'30" W	176.98'
L16	S 59°56'08" W	142.24'
L17	N 31°14'20" W	151.15'

CURVE	RADIUS	DELTA	ARC	CHORD BEARING	CHORD
C17	25.00'	90°00'00"	39.27'	N 44°46'47" E	35.36'
C18	516.00'	18°55'50"	170.49'	S 09°14'42" W	169.71'
C19	15.00'	85°08'19"	22.29'	N 23°51'33" W	20.29'
C20	475.00'	58°45'40"	487.15'	S 60°37'10" E	466.08'
C21	955.00'	58°58'02"	982.88'	S 29°16'39" W	940.06'
C22	955.00'	56°19'11"	938.73'	N 30°36'05" E	901.39'

REFER TO SHEET 1 FOR OUTLOT AND TRACT TABLE



NOTE: ALL DIMENSIONS SHOWN HEREON ARE MEASURED UNLESS NOTED OTHERWISE

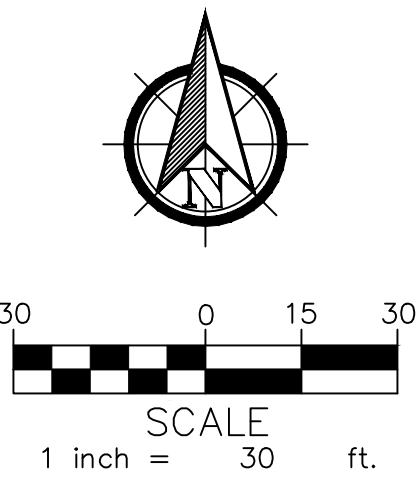
FOR REVIEW ONLY

FOR AND ON BEHALF OF LJA SURVEYING, INC.

L:\DB\1060-08\PROJ\FINAL PLAT\OVERALL PRINTED ON 6/23/2023 4:41 PM

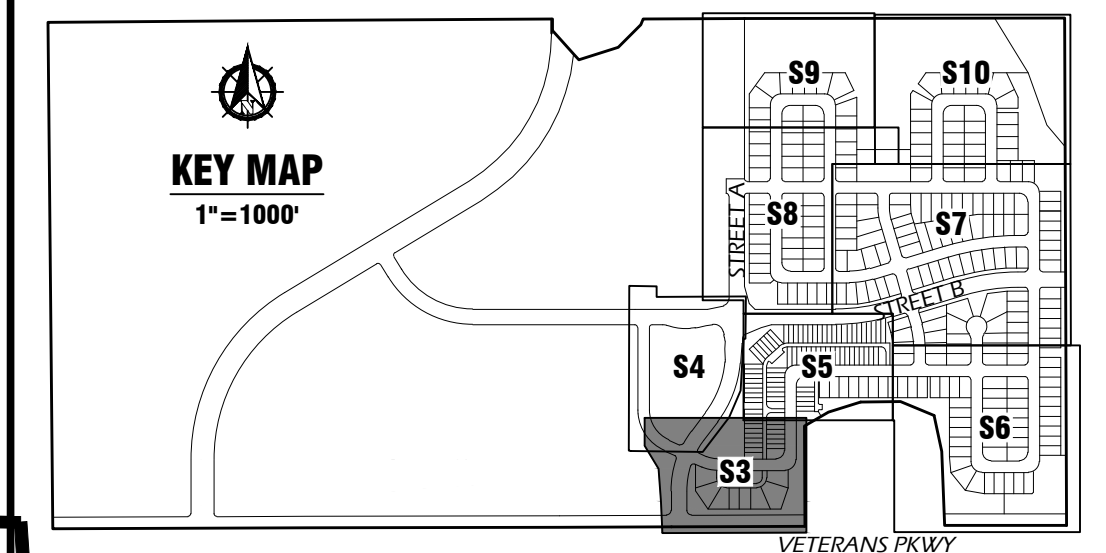
REVERE NORTH FILING NO. 1

A PARCEL OF LAND SITUATE IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 35 AND THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 5 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF JOHNSTOWN, COUNTY OF LARIMER, STATE OF COLORADO



LEGEND

- Ⓚ = BLOCK NUMBER
- A.E. = ACCESS EASEMENT HEREBY GRANTED
- D.E. = DRAINAGE EASEMENT HEREBY GRANTED
- D.U.E. = DRY UTILITY EASEMENT HEREBY GRANTED
- U.E. = UTILITY EASEMENT HEREBY GRANTED



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No.	Rev. Date:	Revision Type:
1		
2		
3		
4		
5		
6		

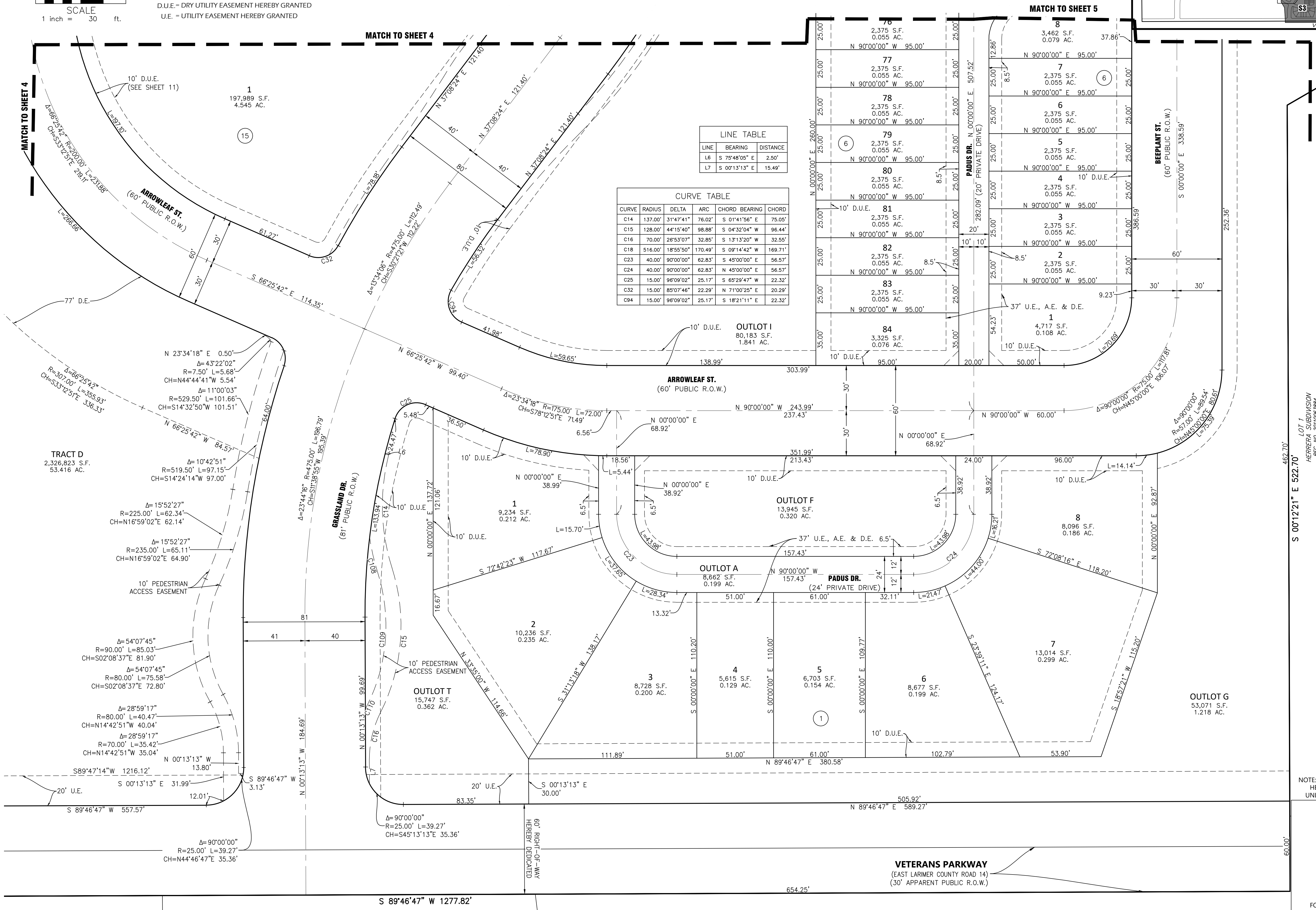
Designed:	DSR	Job No.:	1060-08	Sheet:	3 of 11
Prepared:	JAV	Scale Horiz:	N/A	Date:	FEBRUARY 8, 2023
Approved:	DSB				

LINE TABLE

LINE	BEARING	DISTANCE
L6	S 75°48'05" E	2.50'
L7	S 00°13'13" E	15.49'

CURVE TABLE

CURVE	RADIUS	DELTA	ARC	CHORD BEARING	CHORD
C14	137.00'	31°47'41"	76.02'	S 01°41'56" E	75.05'
C15	128.00'	44°15'40"	98.88'	S 04°32'04" W	96.44'
C16	70.00'	26°53'07"	32.85'	S 13°13'20" W	32.55'
C18	516.00'	18°55'50"	170.49'	S 09°14'42" W	169.71'
C23	40.00'	90°00'00"	62.83'	S 49°00'00" E	56.57'
C24	40.00'	90°00'00"	62.83'	N 49°00'00" E	56.57'
C25	15.00'	96°09'02"	25.17'	S 69°29'47" W	22.32'
C32	15.00'	85°07'46"	22.29'	N 71°00'25" E	20.29'
C94	15.00'	96°09'02"	25.17'	S 18°21'11" E	22.32'



OUTLOT I
80,183 S.F.
1.841 AC.

OUTLOT F
13,945 S.F.
0.320 AC.

OUTLOT A
8,862 S.F.
0.199 AC.

OUTLOT T
15,747 S.F.
0.362 AC.

OUTLOT G
53,071 S.F.
1.218 AC.

NOTE: ALL DIMENSIONS SHOWN HEREON ARE MEASURED UNLESS NOTED OTHERWISE

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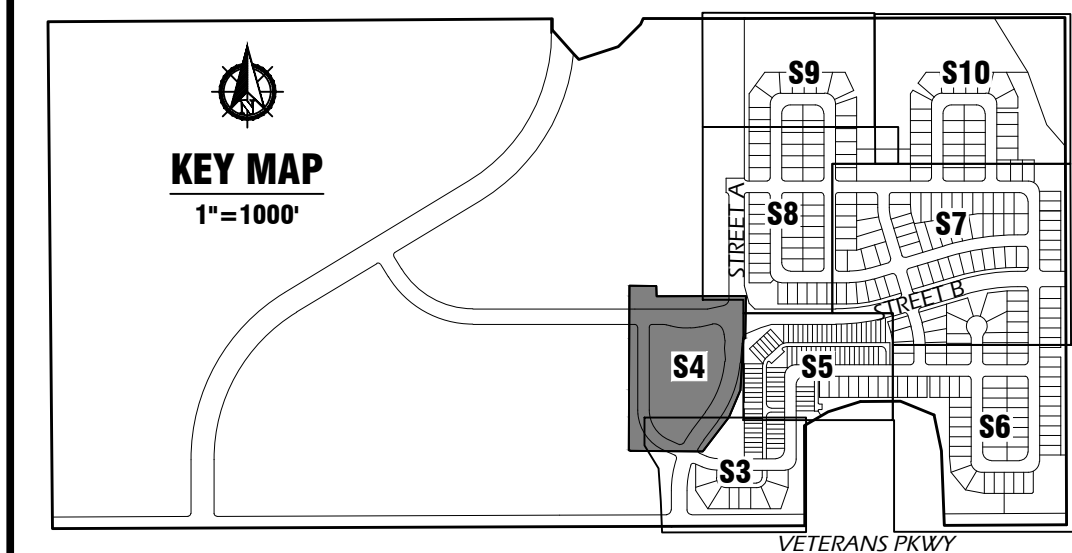
FOR AND ON BEHALF OF LJA SURVEYING, INC.

REVERE NORTH FILING NO. 1
TOWN OF JOHNSTOWN, COLORADO
PRELIMINARY PLAT

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REVERE NORTH FILING NO. 1

A PARCEL OF LAND SITUATE IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 35 AND THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 5 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF JOHNSTOWN, COUNTY OF LARIMER, STATE OF COLORADO



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No.	Rev. Date:	Revision Type:	DSR	Job No.:	Scale Horiz:	Sheet:	Date:
1			DSR	1060-08	N/A	4 of 11	FEBRUARY 8, 2023
2			JAV				
3							
4							
5							
6			DSB				

Designed: JAV
Prepared: JAV
Approved: DSB

LEGEND

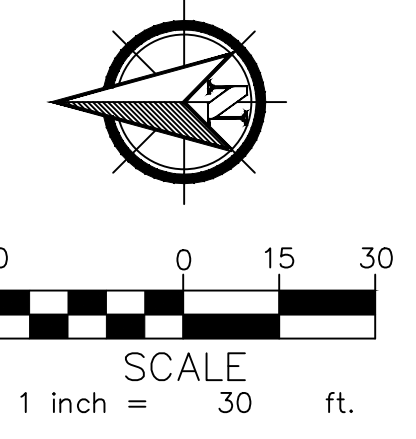
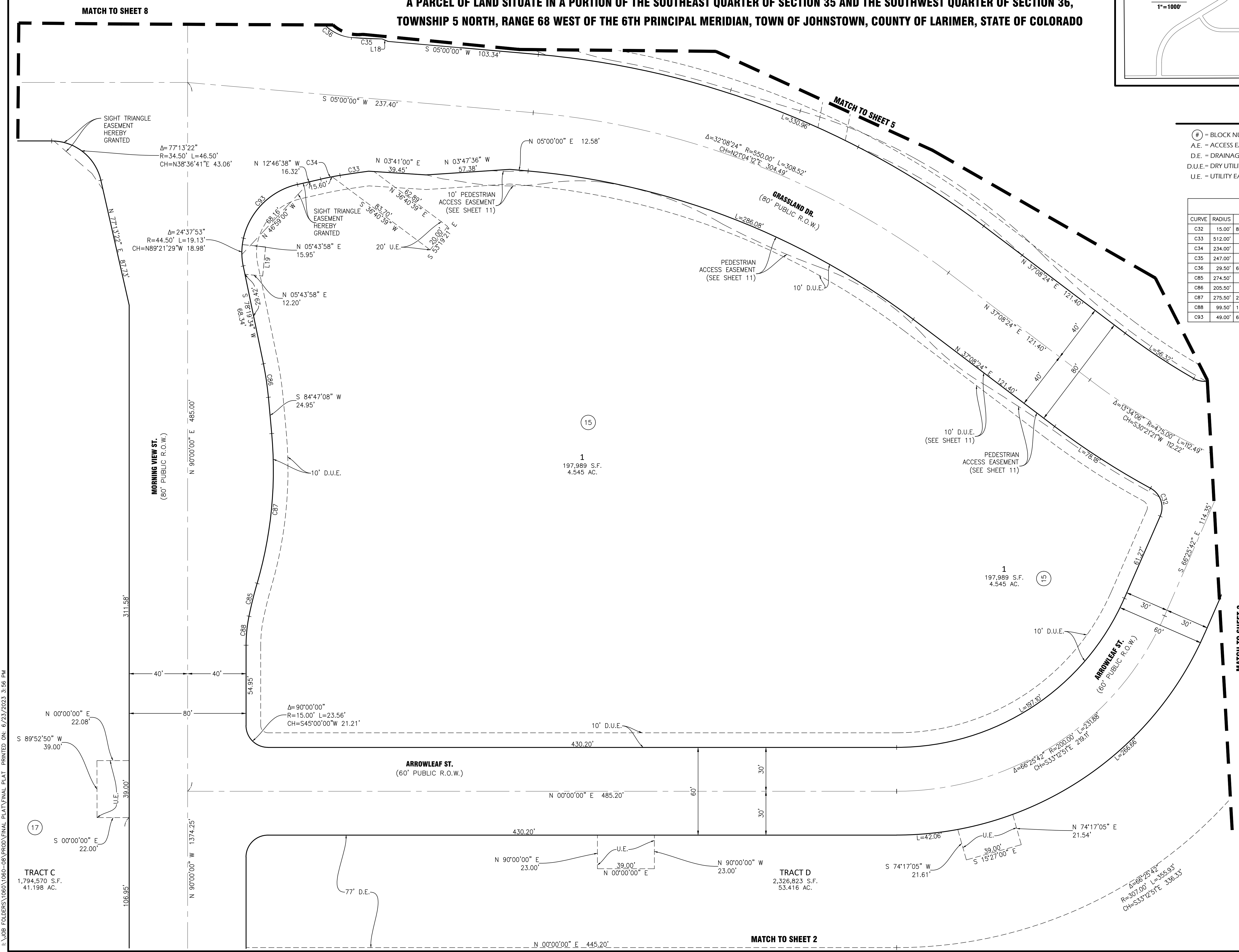
- # = BLOCK NUMBER
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- D.U.E. = DRY UTILITY EASEMENT HEREBY GRANTED
- U.E. = UTILITY EASEMENT HEREBY GRANTED

CURVE TABLE

CURVE	RADIUS	DELTA	ARC	CHORD BEARING	CHORD
C32	15.00'	85°07'46"	22.29'	N 71°00'25" E	20.29'
C33	512.00'	2°12'28"	19.73'	N 08°21'52" W	19.73'
C34	234.00'	3°18'32"	13.51'	N 11°07'22" W	13.51'
C35	247.00'	4°52'33"	21.02'	S 02°40'48" W	21.01'
C36	29.50'	62°12'26"	32.03'	S 36°13'17" W	30.48'
C85	274.50'	4°50'43"	23.21'	N 76°05'56" E	23.21'
C86	205.50'	6°27'34"	23.17'	N 81°33'21" E	23.16'
C87	275.50'	21°32'17"	103.56'	S 84°26'43" E	102.99'
C88	99.50'	11°28'42"	19.93'	N 84°15'39" W	19.90'
C93	49.00'	64°15'55"	54.96'	N 44°54'35" W	52.12'

LINE TABLE

LINE	BEARING	DISTANCE
L18	S 23°23'05" W	4.28'
L19	S 84°16'02" E	20.00'



NOTE: ALL DIMENSIONS SHOWN HEREON ARE MEASURED UNLESS NOTED OTHERWISE

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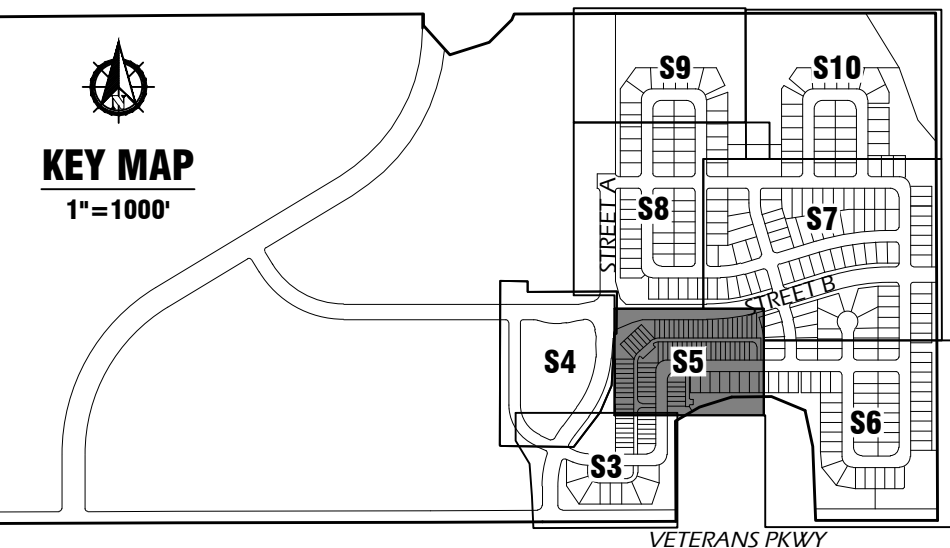
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REVERE NORTH FILING NO. 1
TOWN OF JOHNSTOWN, COLORADO
PRELIMINARY PLAT

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REVERE NORTH FILING NO. 1

A PARCEL OF LAND SITUATE IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 35 AND THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 5 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF JOHNSTOWN, COUNTY OF LARIMER, STATE OF COLORADO



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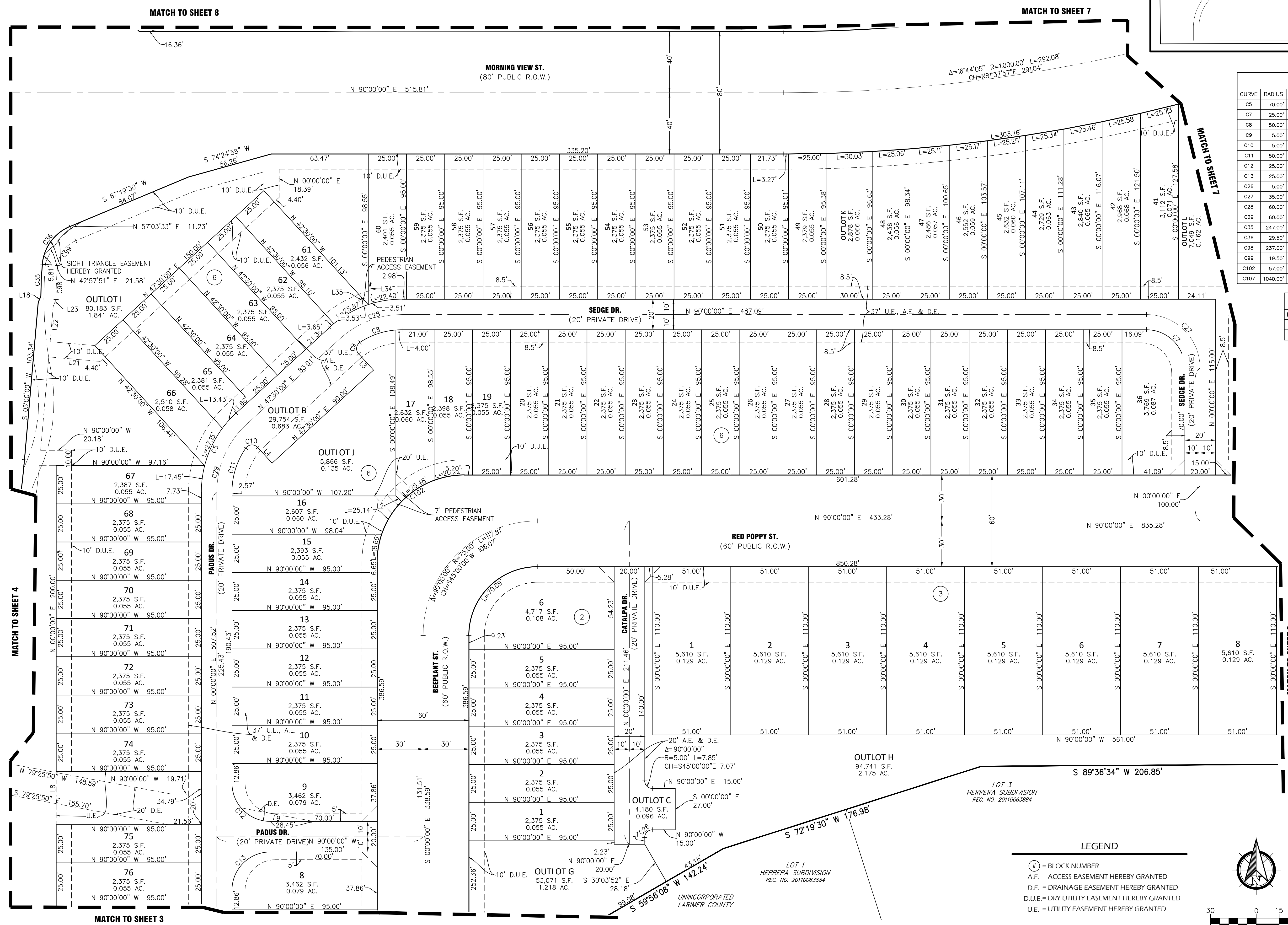
No.	Rev. Date:	Revision Type:
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Designed: DSR
Prepared: JAV
Approved: DSB

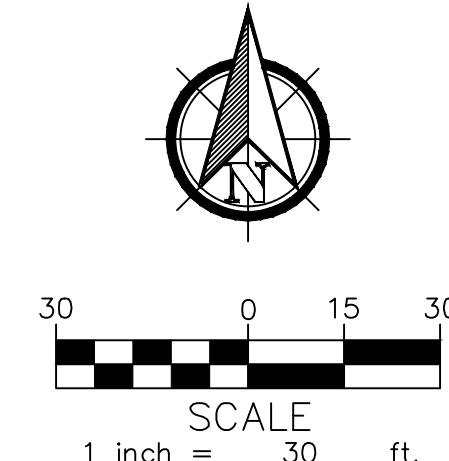
Job No.: 1060-08
Scale Horiz: N/A
Sheet: 5 of 11
Date: FEBRUARY 8, 2023

CURVE	RADIUS	DELTA	ARC	CHORD BEARING	CHORD
C5	70.00'	22°13'29"	27.15'	S 25°23'56" W	26.98'
C7	25.00'	90°00'00"	39.27'	N 45°00'00" W	35.36'
C8	50.00'	28°40'47"	25.03'	S 71°04'17" W	24.77'
C9	5.00'	99°13'54"	8.66'	S 07°06'57" W	7.62'
C10	5.00'	102°32'49"	8.95'	S 86°13'36" W	7.80'
C11	50.00'	34°57'11"	30.50'	S 17°28'36" W	30.03'
C12	25.00'	90°00'00"	39.27'	S 45°00'00" E	35.36'
C13	25.00'	90°00'00"	39.27'	S 45°00'00" W	35.36'
C16	5.00'	90°00'00"	7.85'	S 45°00'00" W	7.07'
C17	35.00'	90°00'00"	54.98'	N 45°00'00" W	49.50'
C18	60.00'	42°30'00"	44.51'	S 68°45'00" W	43.49'
C19	60.00'	47°30'00"	49.74'	S 23°45'00" W	48.33'
C20	247.00'	4°52'33"	21.02'	S 02°40'48" W	21.01'
C21	29.50'	62°12'26"	32.03'	S 36°13'17" W	30.48'
C22	237.00'	5°21'58"	22.20'	S 02°26'05" W	22.19'
C23	19.50'	62°12'26"	21.17'	S 36°13'17" W	20.15'
C24	57.00'	25°36'46"	25.48'	S 56°51'53" W	25.27'
C25	1040.00'	2°21'19"	42.75'	N 74°26'35" E	42.75'

LINE	BEARING	DISTANCE
L18	S 23°23'05" W	4.28'
L19	S 84°16'02" E	20.00'



- LEGEND**
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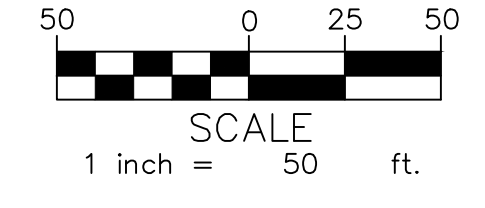
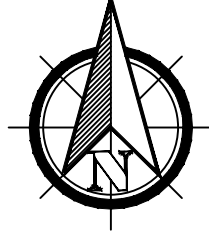


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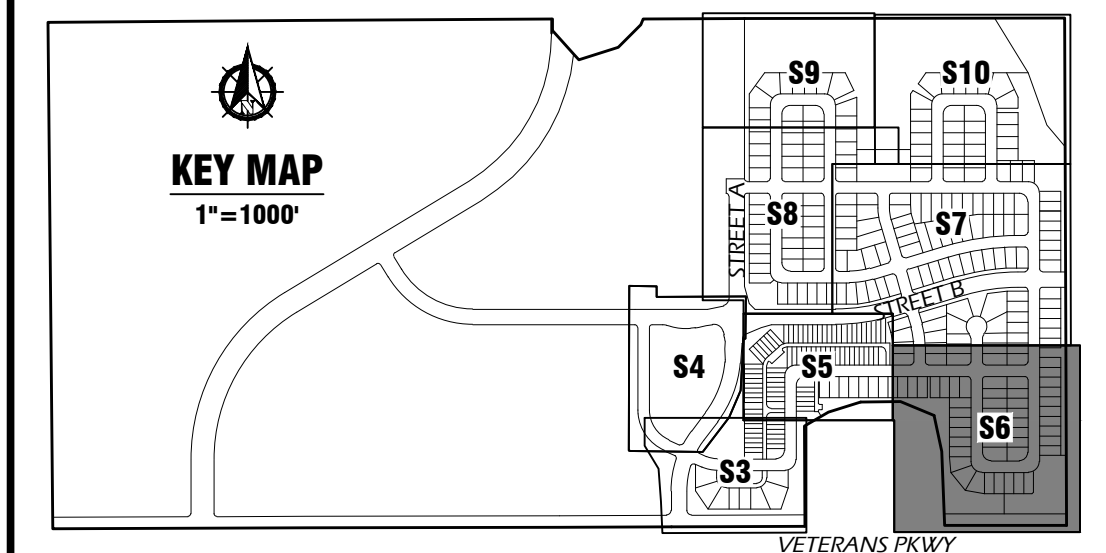
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TOWN OF JOHNSTOWN, COLORADO
PRELIMINARY PLAT



REVERE NORTH FILING NO. 1

A PARCEL OF LAND SITUATE IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 35 AND THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 5 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF JOHNSTOWN, COUNTY OF LARIMER, STATE OF COLORADO



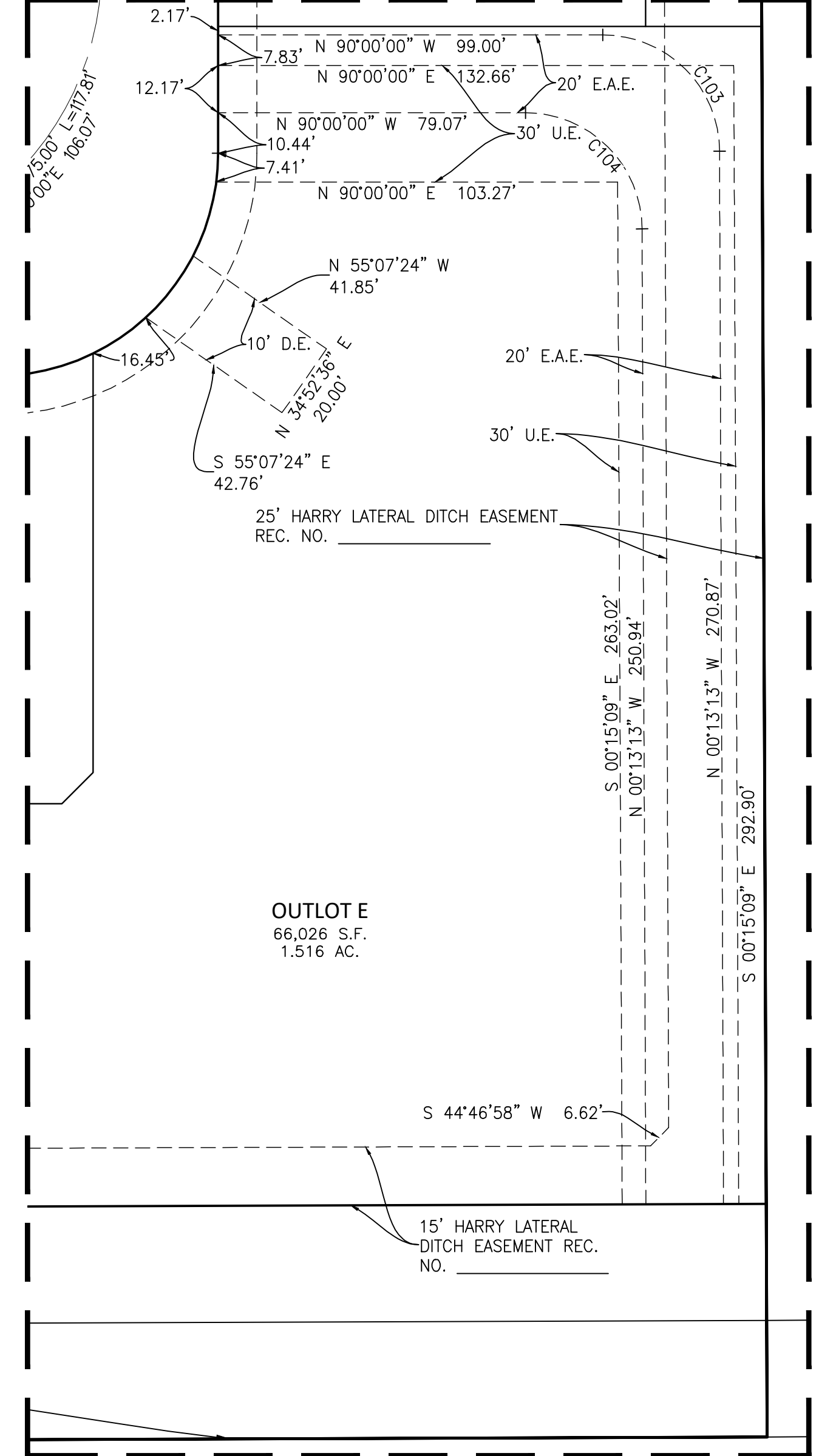
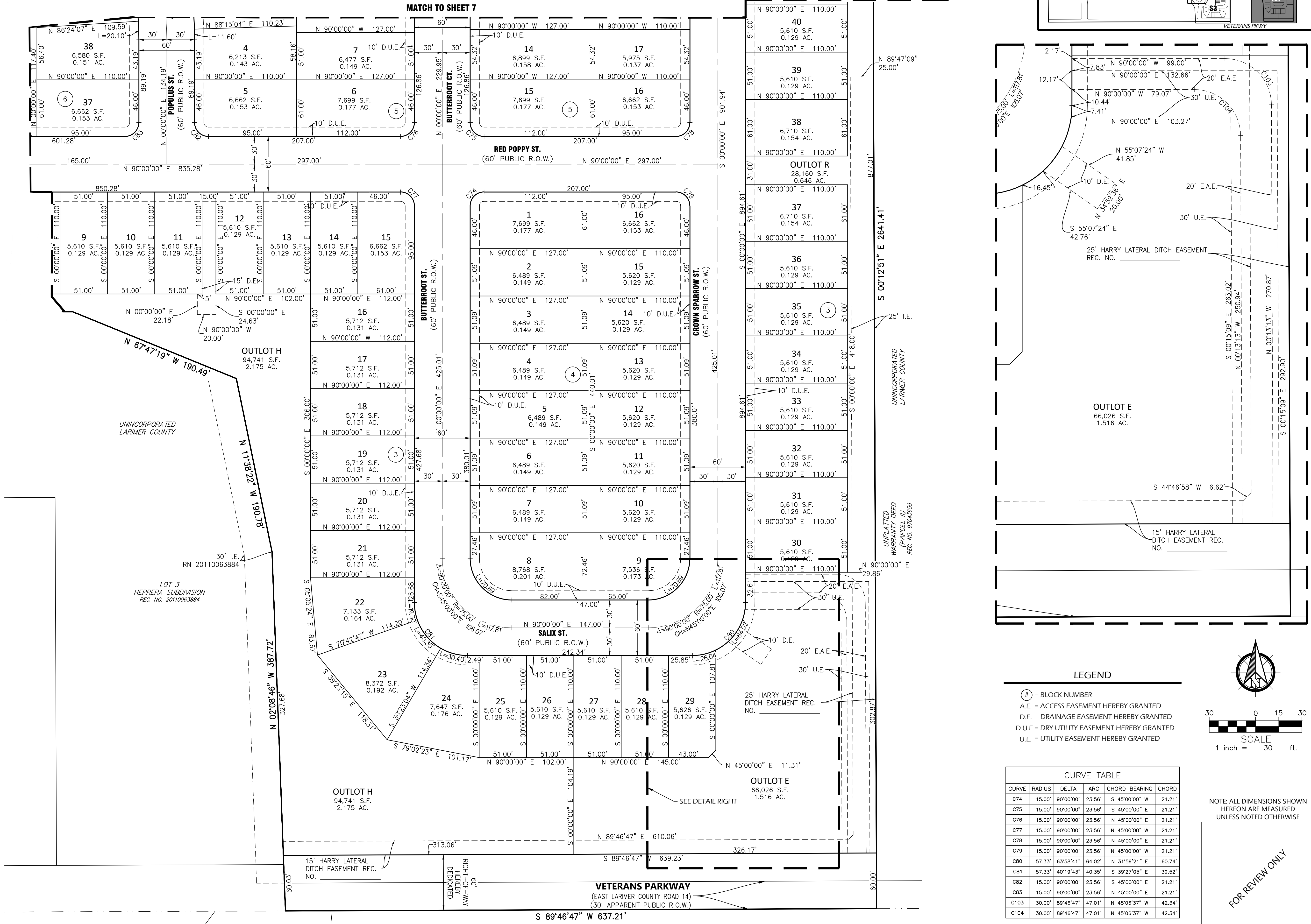
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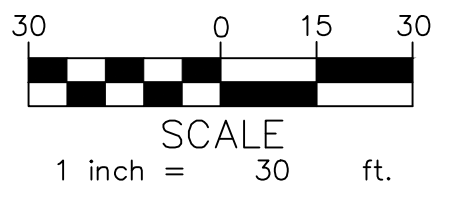
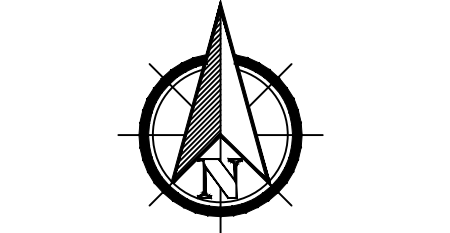
Designed:	DSR	Job No.:	1060-08	Sheet:	6 of 11
Prepared:	JAV	Scale Horiz:	N/A	Date:	FEBRUARY 8, 2023
Approved:	DSB				

MATCH TO SHEET 5

MATCH TO SHEET 7



- LEGEND**
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 - U.E. = UTILITY EASEMENT HEREBY GRANTED



CURVE	RADIUS	DELTA	ARC	CHORD BEARING	CHORD
C74	15.00'	90°00'00"	23.56'	S 45°00'00" W	21.21'
C75	15.00'	90°00'00"	23.56'	S 45°00'00" E	21.21'
C76	15.00'	90°00'00"	23.56'	N 45°00'00" E	21.21'
C77	15.00'	90°00'00"	23.56'	N 45°00'00" W	21.21'
C78	15.00'	90°00'00"	23.56'	S 45°00'00" E	21.21'
C79	15.00'	90°00'00"	23.56'	N 45°00'00" W	21.21'
C80	57.33'	63°58'41"	64.02'	N 31°59'21" E	60.74'
C81	57.33'	40°19'43"	40.35'	S 39°27'06" E	39.52'
C82	15.00'	90°00'00"	23.56'	S 45°00'00" E	21.21'
C83	15.00'	90°00'00"	23.56'	N 45°00'00" E	21.21'
C103	30.00'	89°46'47"	47.01'	N 45°06'37" W	42.34'
C104	30.00'	89°46'47"	47.01'	N 45°06'37" W	42.34'

NOTE: ALL DIMENSIONS SHOWN HEREON ARE MEASURED UNLESS NOTED OTHERWISE

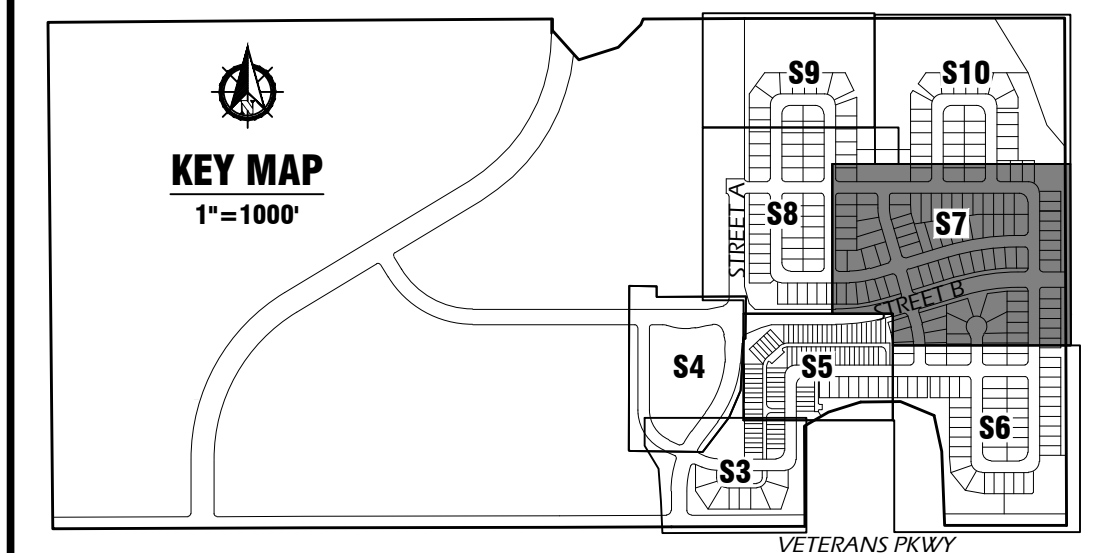
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TOWN OF JOHNSTOWN, COLORADO
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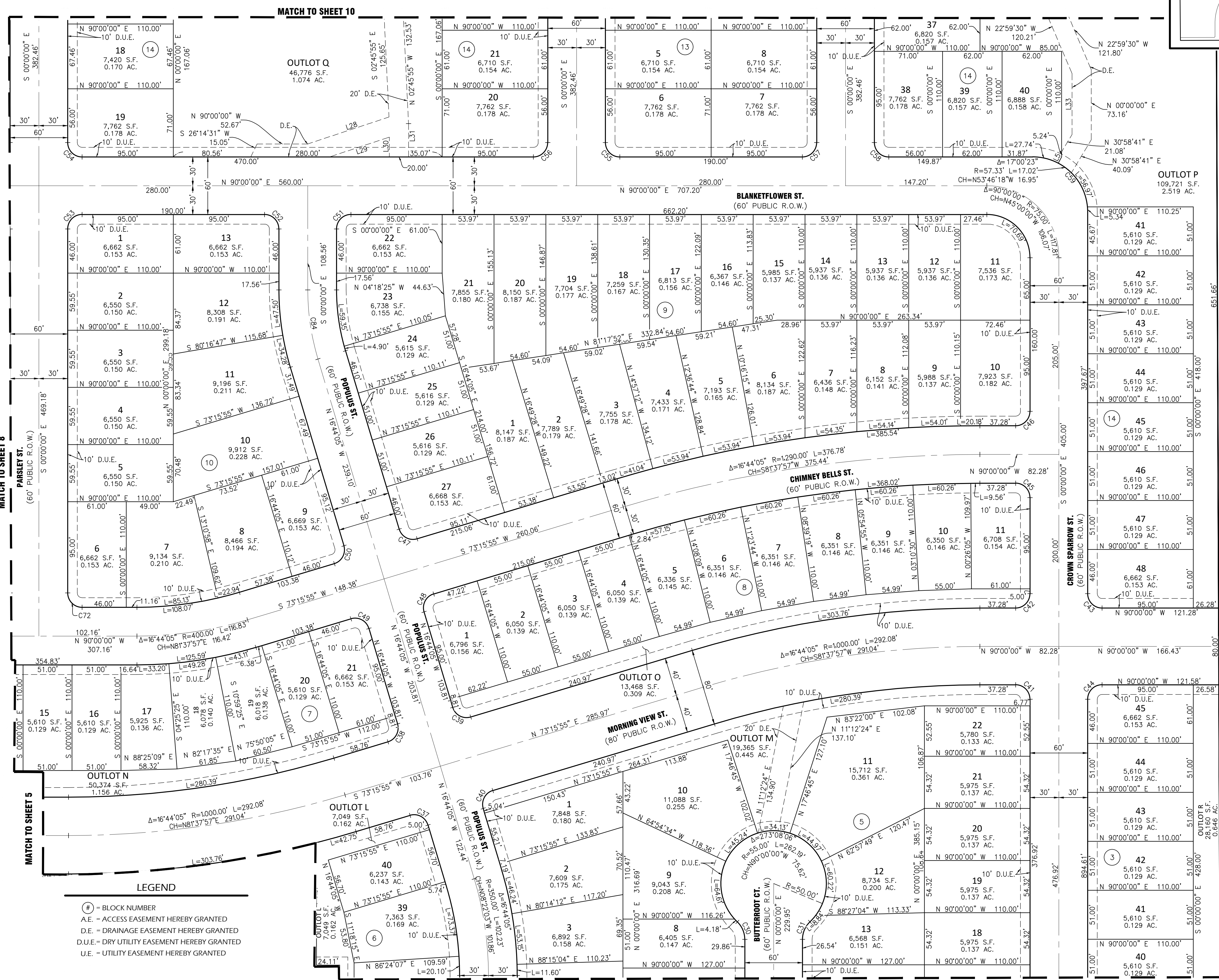


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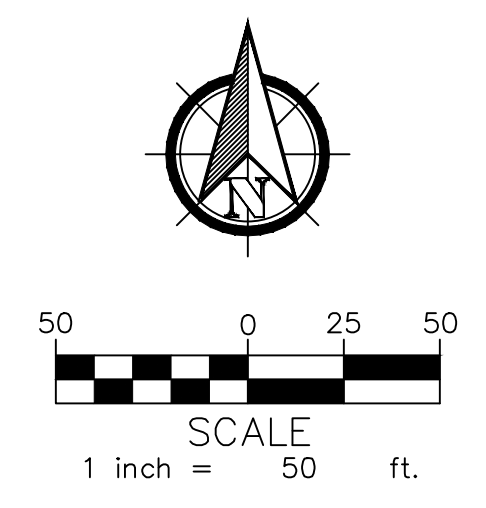
Designed: DSR
Prepared: JAV
Approved: DSB

Job No.: 1050-08
Scale Horiz: N/A
Sheet: 7 of 11
Date: FEBRUARY 8, 2023



CURVE	RADIUS	DELTA	ARC	CHORD BEARING	CHORD
C30	25.00'	46°34'03"	20.32'	N 23°17'01" W	19.76'
C31	25.00'	46°34'03"	20.32'	S 23°17'01" W	19.76'
C37	15.00'	90°00'00"	23.56'	N 61°44'05" W	21.21'
C38	15.00'	90°00'00"	23.56'	S 28°15'55" E	21.21'
C39	15.00'	90°00'00"	23.56'	S 61°44'05" E	21.21'
C40	15.00'	90°00'00"	23.56'	S 28°15'55" W	21.21'
C41	15.00'	90°00'00"	23.56'	N 45°00'00" W	21.21'
C42	15.00'	90°00'00"	23.56'	N 45°00'00" E	21.21'
C43	15.00'	90°00'00"	23.56'	S 45°00'00" E	21.21'
C44	15.00'	90°00'00"	23.56'	S 45°00'00" W	21.21'
C45	15.00'	90°00'00"	23.56'	S 45°00'00" W	21.21'
C46	15.00'	90°00'00"	23.56'	N 45°00'00" E	21.21'
C47	15.00'	90°00'00"	23.56'	S 61°44'05" E	21.21'
C48	15.00'	90°00'00"	23.56'	S 28°15'55" W	21.21'
C49	15.00'	90°00'00"	23.56'	N 61°44'05" W	21.21'
C50	15.00'	90°00'00"	23.56'	N 28°15'55" E	21.21'
C51	15.00'	90°00'00"	23.56'	S 45°00'00" W	21.21'
C52	15.00'	90°00'00"	23.56'	N 45°00'00" W	21.21'
C53	15.00'	90°00'00"	23.56'	S 45°00'00" W	21.21'
C54	15.00'	90°00'00"	23.56'	S 45°00'00" W	21.21'
C55	15.00'	90°00'00"	23.56'	S 45°00'00" E	21.21'
C56	15.00'	90°00'00"	23.56'	N 45°00'00" E	21.21'
C57	15.00'	90°00'00"	23.56'	N 45°00'00" E	21.21'
C58	15.00'	90°00'00"	23.56'	S 45°00'00" E	21.21'
C59	57.33'	56°56'25"	56.97'	N 33°48'17" W	54.66'
C72	15.00'	90°00'00"	23.56'	S 45°00'00" E	21.21'
C84	250.00'	16°44'05"	73.02'	S 08°22'03" E	72.76'

LINE	BEARING	DISTANCE
L5	N 27°43'31" E	7.44'
L28	S 71°40'30" W	89.21'
L29	S 71°40'30" W	65.51'
L30	N 00°00'00" E	20.60'
L31	N 00°00'00" E	34.69'
L33	N 00°00'00" E	63.55'



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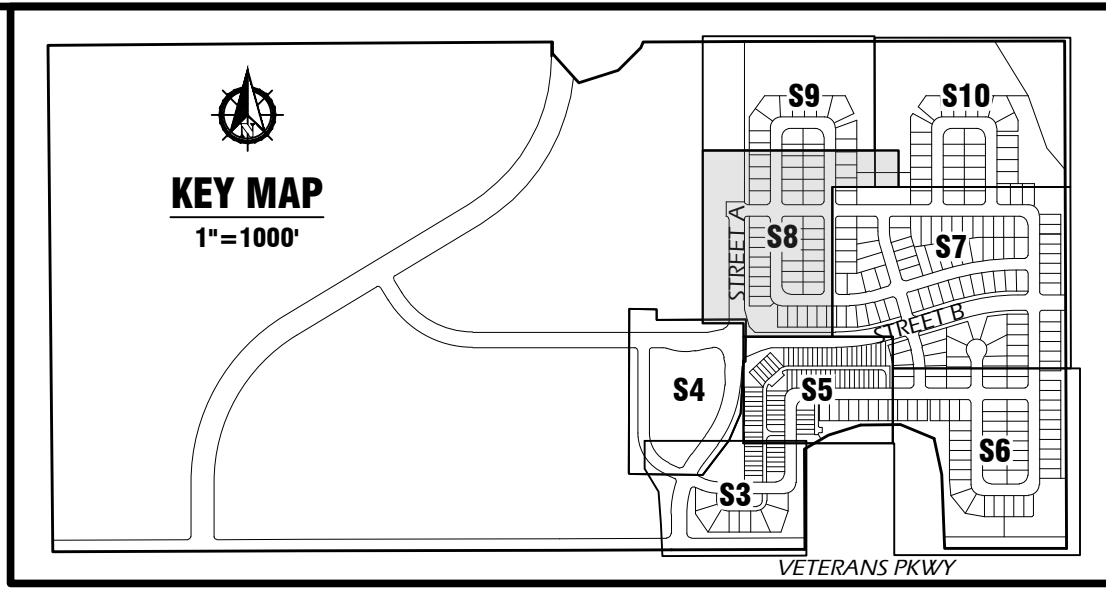
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TOWN OF JOHNSTOWN, COLORADO
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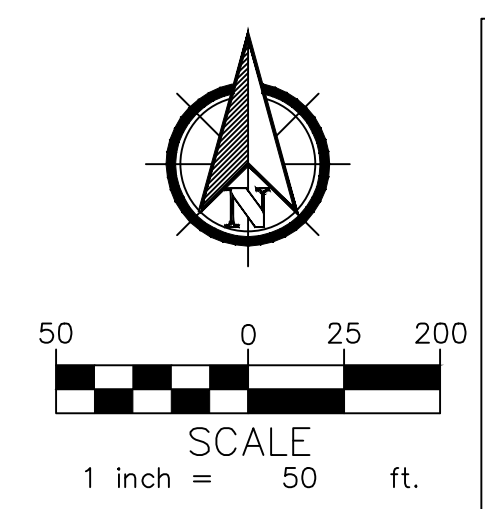
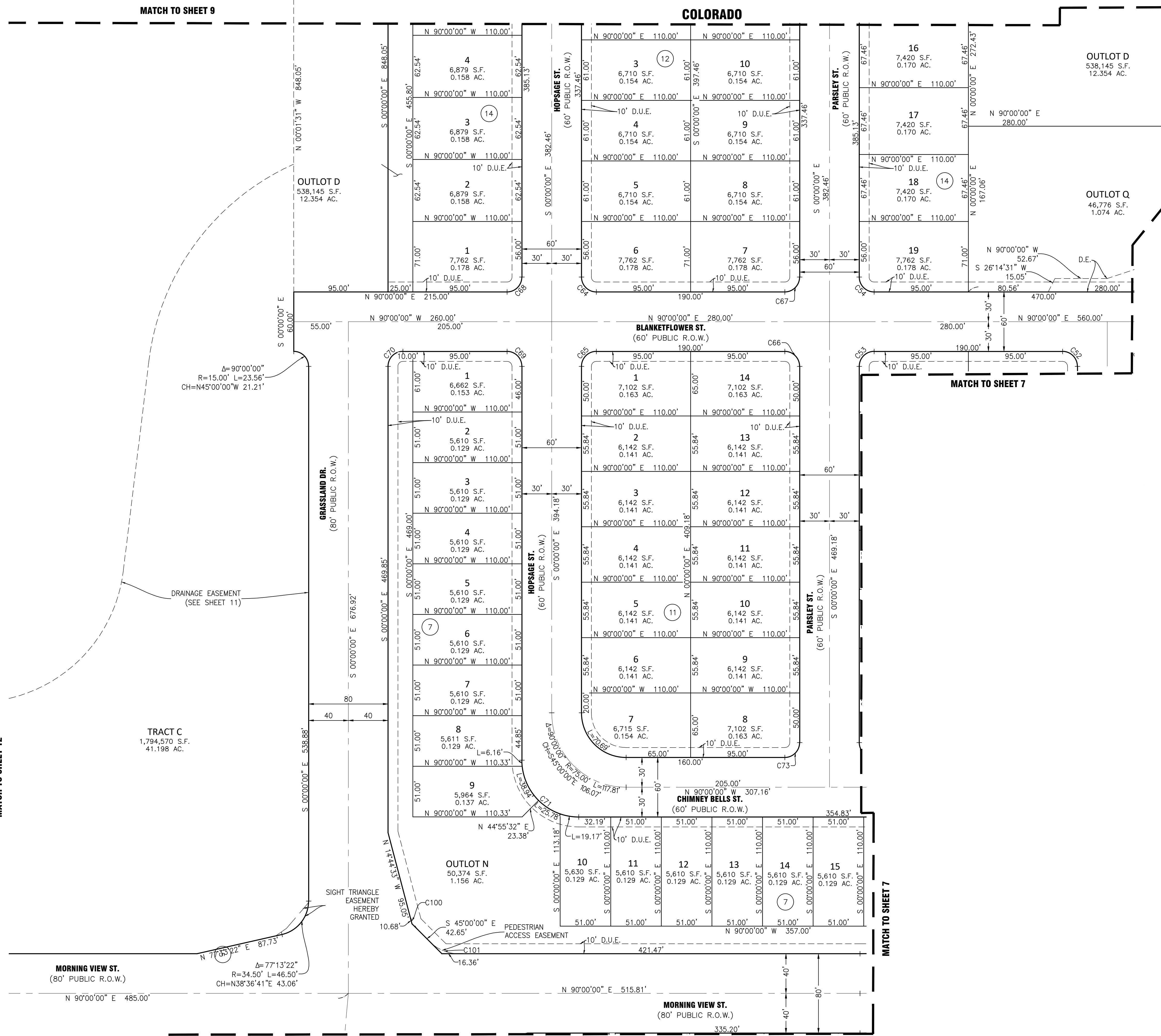
Designed:	DSB	Job No.:	1060-08	Sheet:	8 of 11
Prepared:	JAV	Scale Horiz:	N/A	Date:	FEBRUARY 8, 2023
Approved:	DSB				

LEGEND

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CURVE TABLE

CURVE	RADIUS	DELTA	ARC	CHORD BEARING	CHORD
C52	15.00'	90°00'00"	23.56'	N 45°00'00" W	21.21'
C53	15.00'	90°00'00"	23.56'	S 45°00'00" W	21.21'
C54	15.00'	90°00'00"	23.56'	S 45°00'00" E	21.21'
C64	15.00'	90°00'00"	23.56'	S 45°00'00" E	21.21'
C65	15.00'	90°00'00"	23.56'	S 45°00'00" W	21.21'
C66	15.00'	90°00'00"	23.56'	N 45°00'00" W	21.21'
C67	15.00'	90°00'00"	23.56'	N 45°00'00" E	21.21'
C68	15.00'	90°00'00"	23.56'	N 45°00'00" E	21.21'
C69	15.00'	90°00'00"	23.56'	N 45°00'00" W	21.21'
C70	15.00'	90°00'00"	23.56'	S 45°00'00" W	21.21'
C71	57.33'	25°46'04"	26.78'	S 57°57'30" E	25.57'
C73	15.00'	90°00'00"	23.56'	N 45°00'00" E	21.21'
C100	39.50'	30°15'27"	20.86'	N 29°52'17" W	20.62'
C101	39.50'	45°00'00"	31.02'	N 67°30'00" W	30.23'



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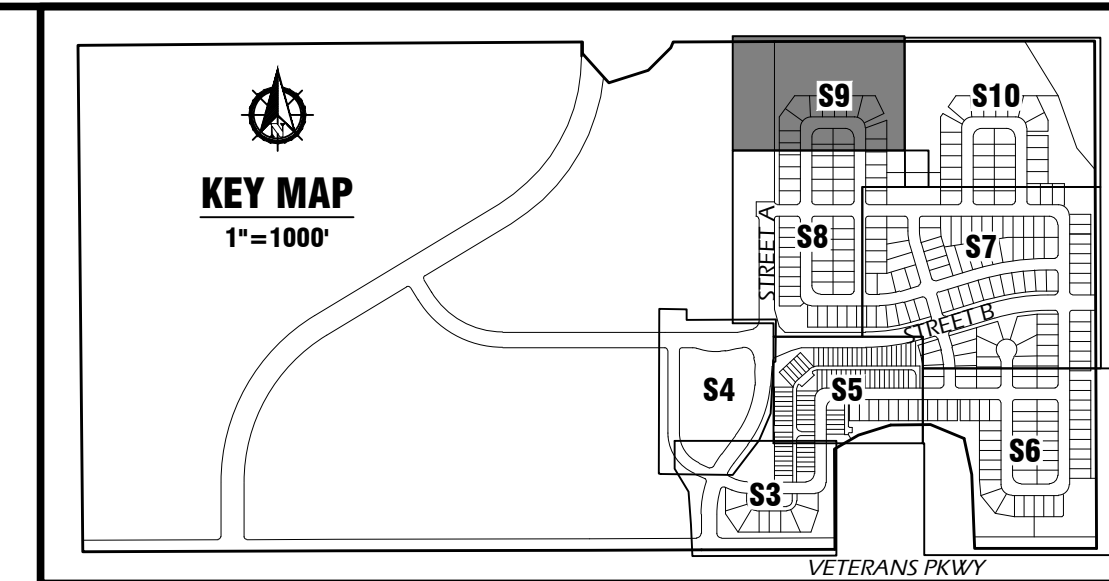
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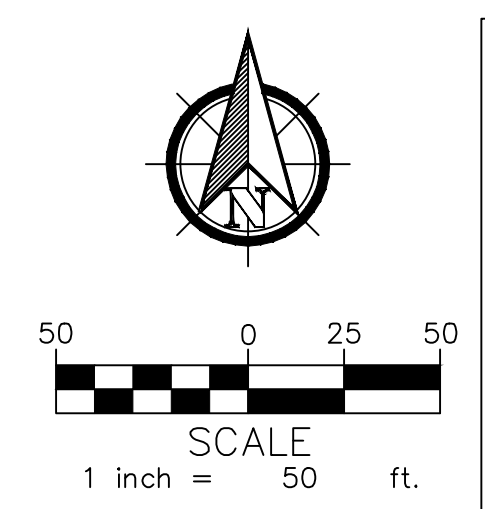
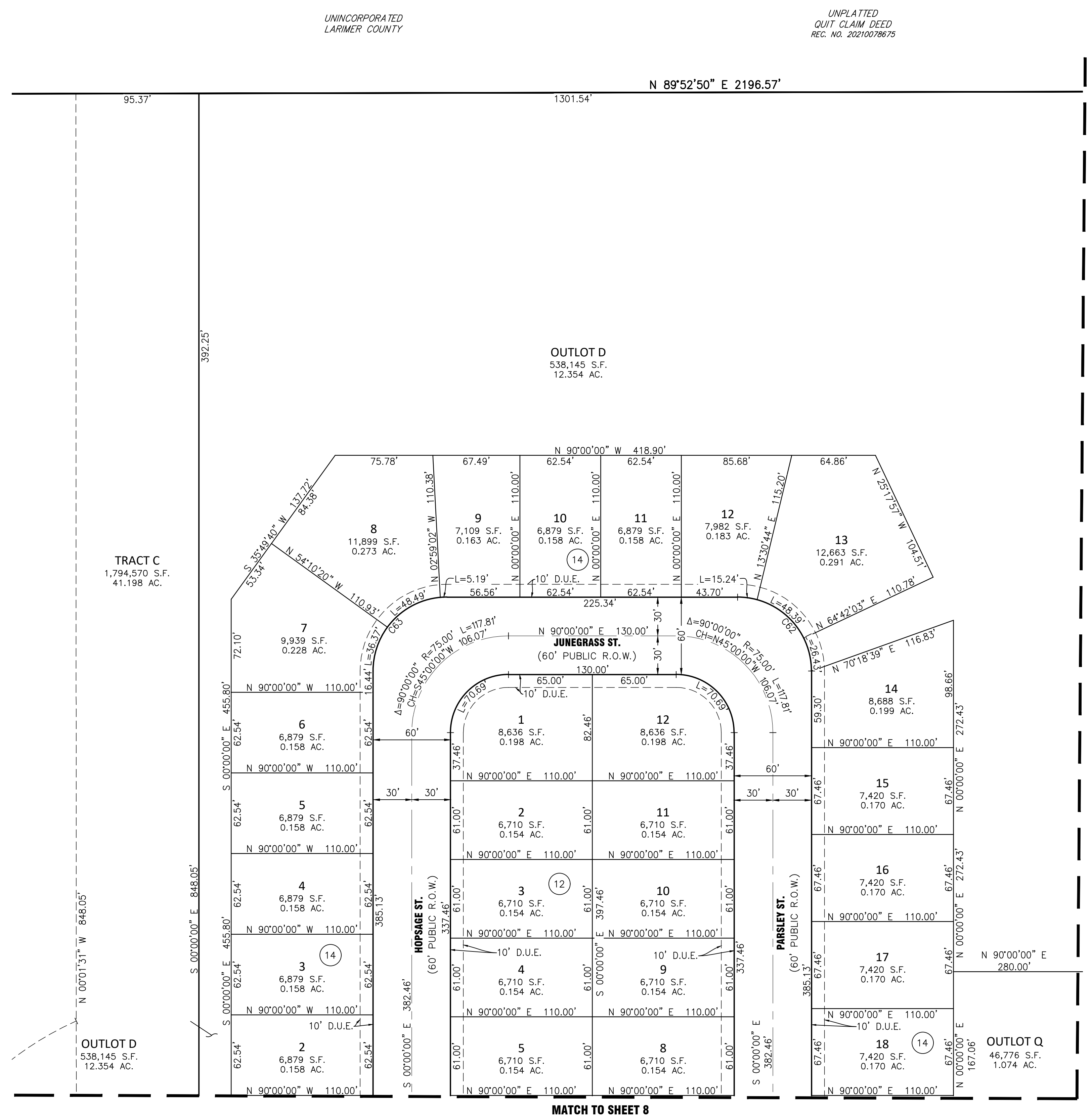
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DSB	Job No.: 1060-08	Sheet: 9 of 11
Prepared: JAV	Scale Horiz: N/A	Date: FEBRUARY 8, 2023
Approved: DSB		

LEGEND

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CURVE TA			
CURVE	RADIUS	DELTA	ARC
C62	57.33'	48°21'28"	48.39'
C63	57.33'	48°27'31"	48.49'



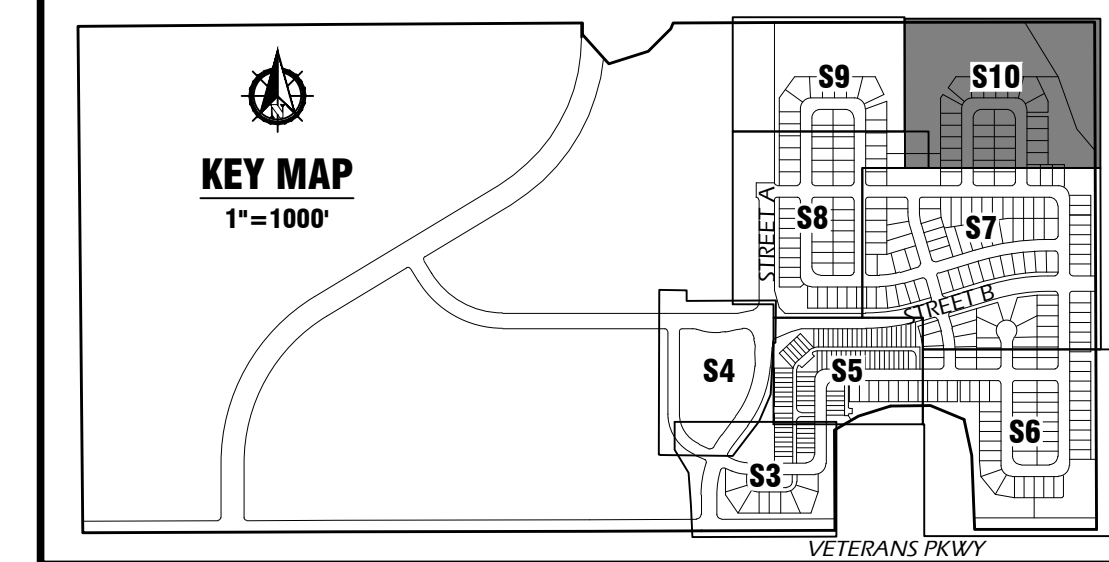
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REVERE NORTH FILING NO. 1

A PARCEL OF LAND SITUATE IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 35 AND THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 5 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF JOHNSTOWN, COUNTY OF LARIMER, STATE OF COLORADO



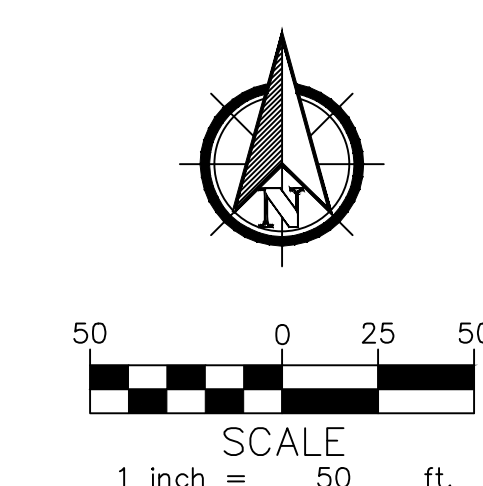
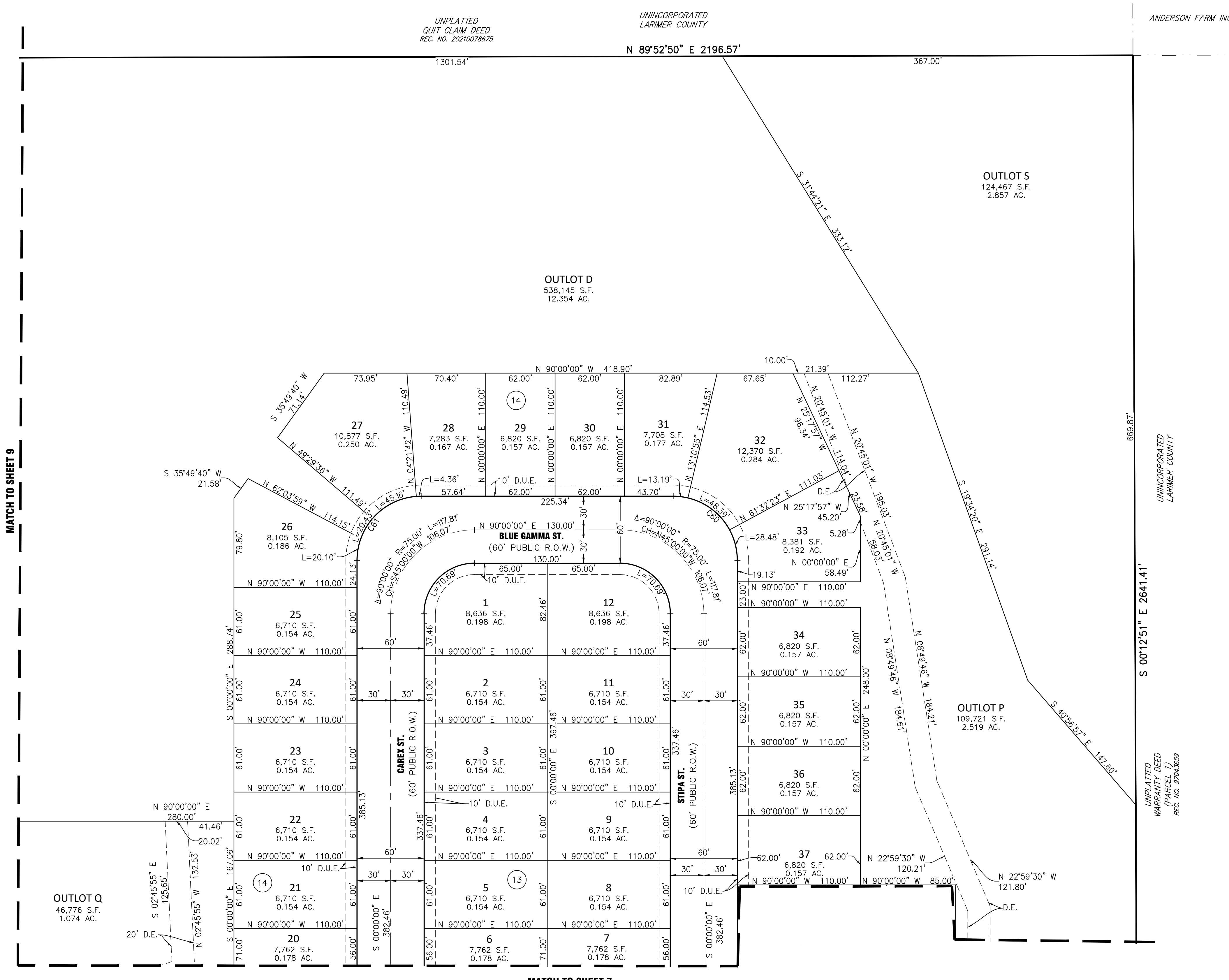
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No.	Rev. Date:	Revision Type:
1		
2		
3		
4		
5		
6		
DSB	Job No.: 1060-08	Sheet: 10 of 11
JAV	Scale Horiz: N/A	Date: FEBRUARY 8, 2023
DSB	Approved:	

LEGEND

- # = BLOCK NUMBER
- A.E. = ACCESS EASEMENT HEREBY GRANTED
- D.E. = DRAINAGE EASEMENT HEREBY GRANTED
- D.U.E. = DRY UTILITY EASEMENT HEREBY GRANTED
- U.E. = UTILITY EASEMENT HEREBY GRANTED

CURVE TABLE					
CURVE	RADIUS	DELTA	ARC	CHORD BEARING	CHORD
C60	57.33'	48°21'28"	48.39'	N 52°38'21" W	46.96'
C61	57.33'	20°25'03"	20.43'	S 30°17'53" W	20.32'



NOTE: ALL DIMENSIONS SHOWN HEREON ARE MEASURED UNLESS NOTED OTHERWISE

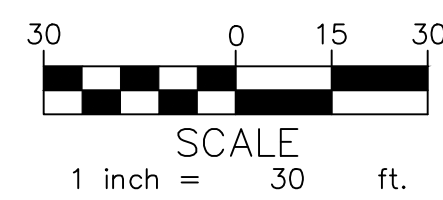
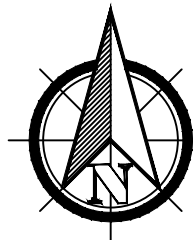
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REVERE NORTH FILING NO. 1
TOWN OF JOHNSTOWN, COLORADO
PRELIMINARY PLAT

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REVERE NORTH FILING NO. 1

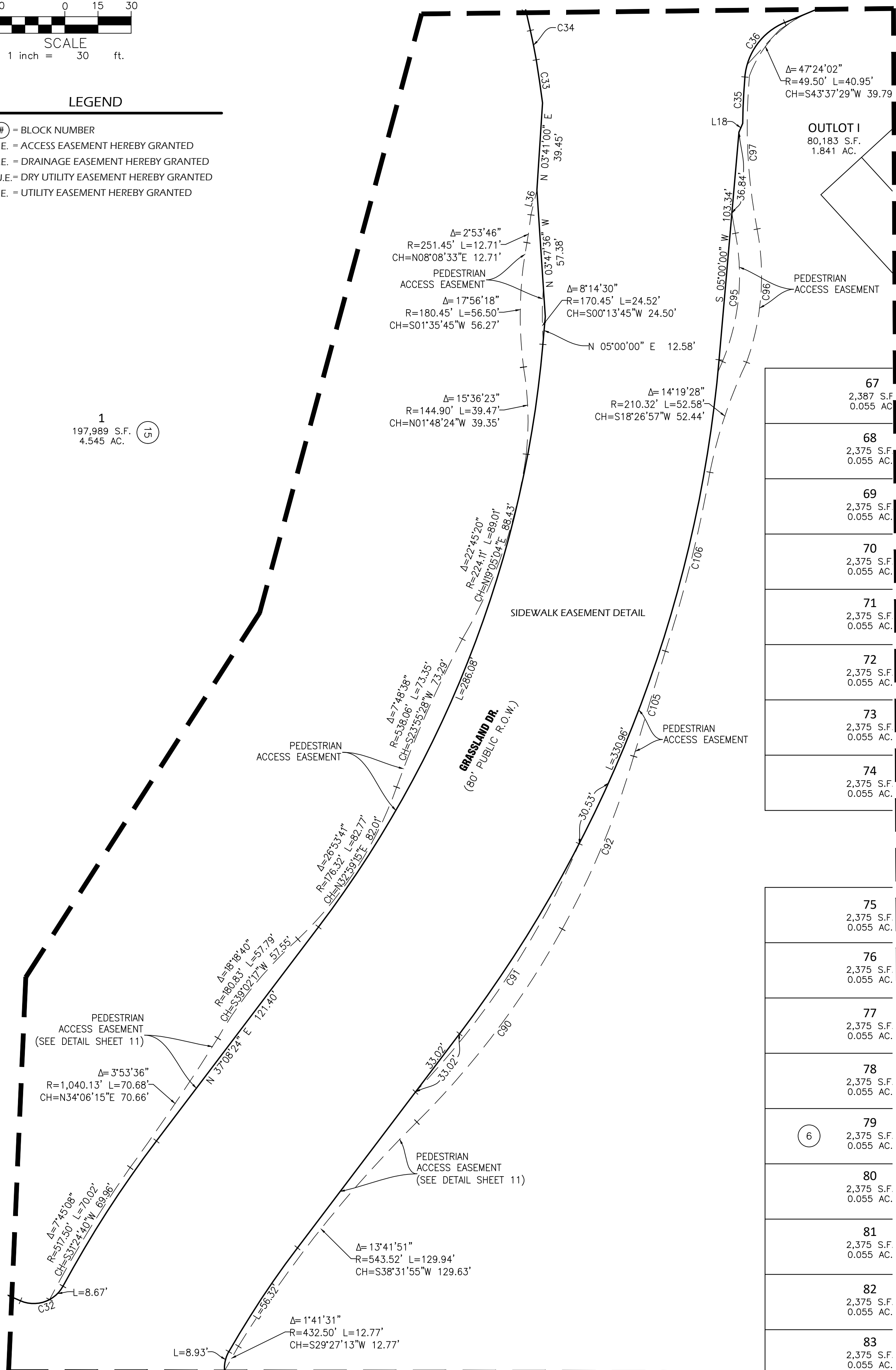
A PARCEL OF LAND SITUATE IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 35 AND THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 5 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF JOHNSTOWN, COUNTY OF LARIMER, STATE OF COLORADO



LEGEND

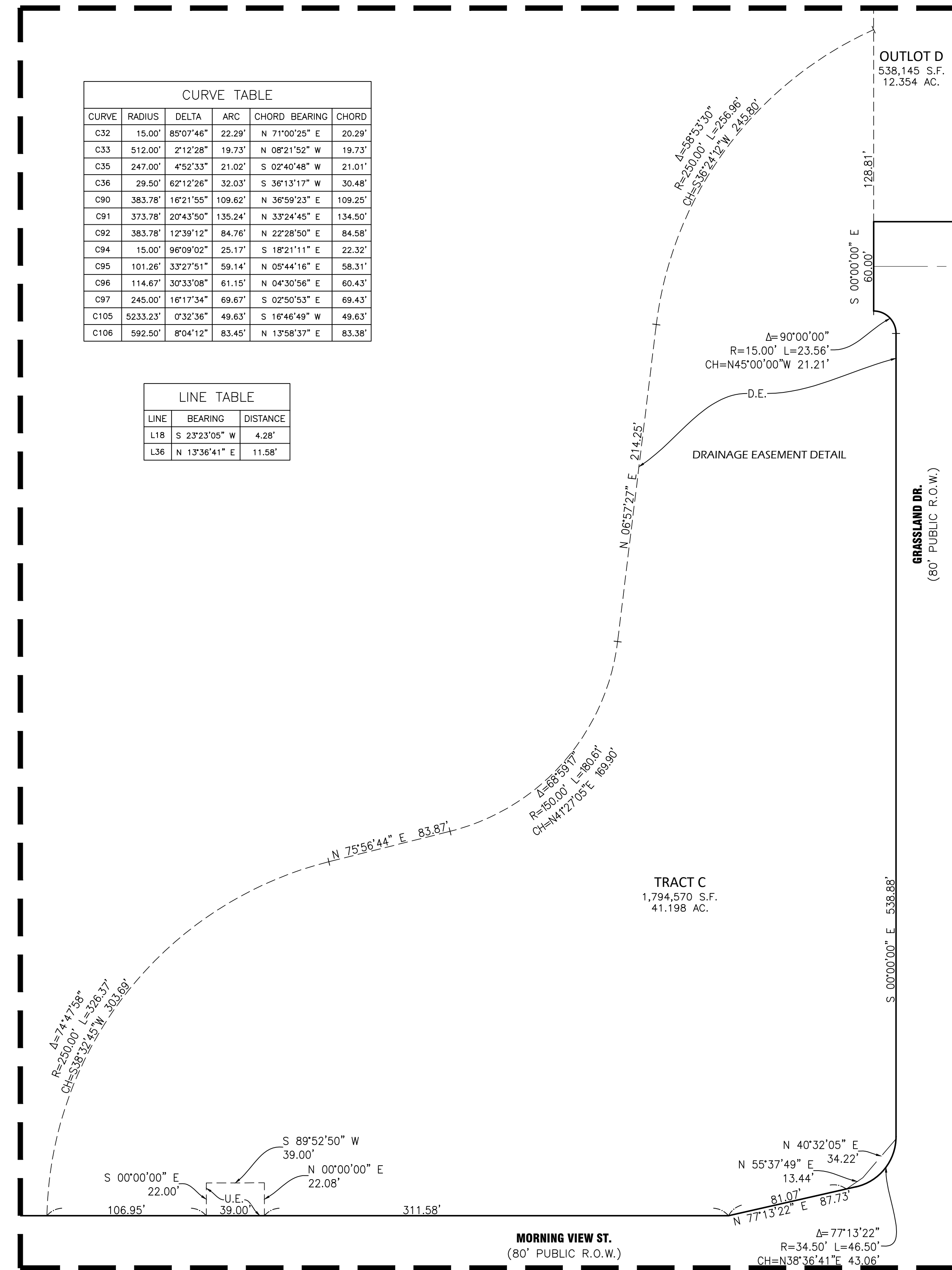
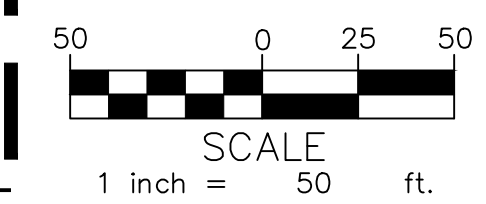
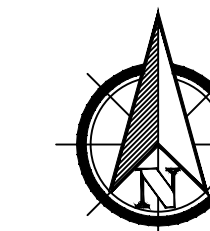
- # - BLOCK NUMBER
- A.E. - ACCESS EASEMENT HEREBY GRANTED
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- D.U.E. - DRY UTILITY EASEMENT HEREBY GRANTED
- U.E. - UTILITY EASEMENT HEREBY GRANTED

1
197,989 S.F.
4.545 AC.



CURVE	RADIUS	DELTA	ARC	CHORD BEARING	CHORD
C32	15.00'	85°07'46"	22.29'	N 71°00'25" E	20.29'
C33	512.00'	2°12'28"	19.73'	N 08°21'52" W	19.73'
C35	247.00'	4°52'33"	21.02'	S 02°40'48" W	21.01'
C36	29.50'	62°12'26"	32.03'	S 36°13'17" W	30.48'
C90	383.78'	16°21'55"	109.62'	N 36°59'23" E	109.25'
C91	373.78'	20°43'50"	135.24'	N 33°24'45" E	134.50'
C92	383.78'	12°39'12"	84.76'	N 22°28'50" E	84.58'
C94	15.00'	96°09'02"	25.17'	S 18°21'11" E	22.32'
C95	101.26'	33°27'51"	59.14'	N 05°44'16" E	58.31'
C96	114.67'	30°33'08"	61.15'	N 04°30'56" E	60.43'
C97	245.00'	16°17'34"	69.67'	S 02°50'53" E	69.43'
C105	5233.23'	0°32'36"	49.63'	S 16°46'49" W	49.63'
C106	592.50'	8°04'12"	83.45'	N 13°58'37" E	83.38'

LINE	BEARING	DISTANCE
L18	S 23°22'05" W	4.28'
L36	N 13°36'41" E	11.58'



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No.	Rev. Date:	Revision Type:	Job No.:	Scale:	Sheet:	Date:
1			1060-08	N/A	11 of 11	FEBRUARY 8, 2023
2						
3						
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			DSB	JAV	DSB	
			Designed:	Prepared:	Approved:	

REVERE NORTH FILING NO. 1
TOWN OF JOHNSTOWN, COLORADO
PRELIMINARY PLAT

NOTE: ALL DIMENSIONS SHOWN HEREON ARE MEASURED UNLESS NOTED OTHERWISE

FOR REVIEW ONLY

FOR AND ON BEHALF OF LJA SURVEYING, INC.

No. 11

REVERE NORTH FILING NO. 1 & 2 PRELIMINARY DEVELOPMENT PLAN TOWN OF JOHNSTOWN, COLORADO

PROJECT INTENT

THIS SUBDIVISION IS DESIGNED TO MEET THE INTENT OF THE GREAT PLAINS VILLAGE OUTLINE DEVELOPMENT PLAN (ODP). REVERE NORTH FILING NO. 1 & 2 INCLUDES A MIX OF LARGER SINGLE-FAMILY DETACHED LOTS (60' x 110'), SMALLER SINGLE-FAMILY DETACHED LOTS (50' x 110'), AND ALLEY-LOADED DUPLEX LOTS (25' x 90'). THE SUBDIVISION WILL RESULT IN ADDING HOUSING DIVERSITY TO MEET A VARIETY OF NEEDS IN THE JOHNSTOWN COMMUNITY. VEHICULAR ACCESS, PARKS, OPEN SPACE, AND PEDESTRIAN CONNECTIONS MEET THE REQUIREMENTS ESTABLISHED IN THE ODP, AS WELL AS THE TOWN MUNICIPAL CODE AND DESIGN GUIDELINES. FILING NO.1 & 2 WILL BE A QUALITY COMMUNITY WITH A METRO DISTRICT RESPONSIBLE FOR MAINTENANCE OF ALL DETENTION PONDS, COMMON AREA LANDSCAPING, PARKS, AND OPEN SPACE. PERIMETER LANDSCAPING WILL ENHANCE THE QUALITY OF THE COMMUNITY AND WILL BE MAINTAINED THROUGHOUT THE DEVELOPMENT.

LEGAL DESCRIPTION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED, BEING THE OWNERS, AND/OR LIEN HOLDER OF THAT PART OF THE SOUTHEAST QUARTER OF SECTION 35 AND THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 5 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF JOHNSTOWN, COUNTY OF LARIMER, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: THE SOUTH LINE OF SAID SOUTHWEST QUARTER OF SECTION 36 IS ASSUMED TO BEAR SOUTH 89°46'47" WEST, AS MONUMENTED ON THE EAST BY A 3.25" ALUMINUM CAP STAMPED, "MANHARD PLS 38361, 2022" IN A MONUMENT BOX AND ON THE WEST BY A 3.25" ALUMINUM CAP STAMPED, "MANHARD PLS 38361, 2022" IN A MONUMENT BOX;

BEGINNING AT THE SOUTH QUARTER CORNER OF SAID SECTION 36; THENCE SOUTH 89°46'47" WEST ALONG THE SOUTH LINE OF SAID SOUTHWEST QUARTER, A DISTANCE OF 637.21 FEET TO A POINT ON THE SOUTHERLY EXTENSION OF THE EASTERLY LINE OF HERRERA SUBDIVISION RECORDED OCTOBER 19, 2011, AT RECEPTION NO. 20110063884, IN THE RECORDS OF THE LARIMER COUNTY CLERK AND RECORDER'S OFFICE;

THENCE ALONG SAID SOUTHERLY EXTENSION OF THE EASTERLY LINE AND CONTINUING ALONG THE EASTERLY, NORTHERLY AND WESTERLY LINES OF SAID HERRERA SUBDIVISION, THE FOLLOWING SEVEN (7) COURSES:

1. NORTH 02°08'46" WEST, A DISTANCE OF 387.72 FEET;
2. NORTH 11°38'22" WEST, A DISTANCE OF 190.78 FEET;
3. NORTH 67°47'19" WEST, A DISTANCE OF 190.49 FEET;
4. SOUTH 89°36'34" WEST, A DISTANCE OF 206.85 FEET;
5. SOUTH 72°19'30" WEST, A DISTANCE OF 176.98 FEET;
6. SOUTH 59°56'08" WEST, A DISTANCE OF 142.24 FEET;
7. SOUTH 00°12'21" EAST, ALONG THE WESTERLY LINE AND THE SOUTHERLY EXTENSION OF SAID LINE A DISTANCE OF 522.70 FEET TO SAID SOUTH LINE;

THENCE SOUTH 89°46'47" WEST ALONG SAID SOUTH LINE, A DISTANCE OF 1,277.82 FEET TO THE SOUTHEAST CORNER OF SAID SECTION 35;

THENCE SOUTH 89°47'38" WEST ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 35, A DISTANCE OF 2,641.25 FEET TO THE SOUTH QUARTER CORNER OF SAID SECTION 35;

THENCE NORTH 00°03'53" WEST ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 35, A DISTANCE OF 1,319.99 FEET TO THE CENTER-SOUTH SIXTEENTH CORNER OF SAID SECTION 35;

THENCE N 00°31'37" WEST ALONG THE WEST LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 35, A DISTANCE OF 1,320.01 FEET TO THE CENTER QUARTER CORNER OF SAID SECTION 35;

THENCE N 89°40'08" EAST ALONG THE NORTH LINE OF WEST HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 35, A DISTANCE OF 1,313.54 FEET TO THE CENTER-EAST SIXTEENTH CORNER OF SAID SECTION 35;

THENCE NORTH 89°39'02" EAST ALONG THE NORTH LINE OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 35, A DISTANCE OF 1,313.57 FEET TO THE EAST QUARTER CORNER OF SAID SECTION 35, ALSO BEING A POINT ON THE WESTERLY BOUNDARY OF THAT PROPERTY DESCRIBED IN BOOK 214 AT PAGE 583, IN THE RECORDS OF THE LARIMER COUNTY CLERK AND RECORDER'S OFFICE;

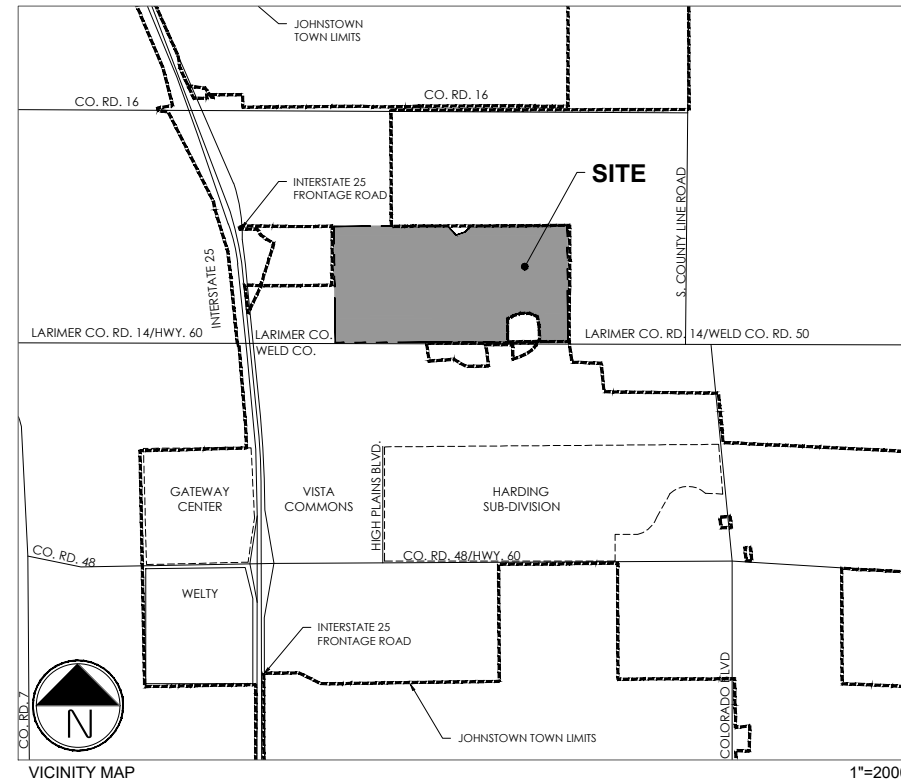
THENCE ALONG THE WESTERLY, SOUTHERLY AND EASTERLY BOUNDARIES OF SAID PROPERTY THE FOLLOWING FIVE (5) COURSES:

1. SOUTH 00°49'35" EAST, A DISTANCE OF 59.31 FEET;
2. SOUTH 41°59'06" EAST, A DISTANCE OF 205.98 FEET;
3. NORTH 71°59'38" EAST, A DISTANCE OF 215.04 FEET;
4. NORTH 44°48'07" EAST, A DISTANCE OF 164.98 FEET;
5. NORTH 24°08'49" EAST, A DISTANCE OF 32.73 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 36;

THENCE NORTH 89°52'50" EAST ALONG SAID NORTH LINE, A DISTANCE OF 2,196.57 FEET TO THE CENTER QUARTER CORNER OF SAID SECTION 36;

THENCE SOUTH 00°12'51" EAST ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER SECTION 36, A DISTANCE OF 2,641.41 FEET TO THE **POINT OF BEGINNING**;

CONTAINING A CALCULATED AREA OF 13,479,981 SQUARE FEET OR 309.458 ACRES, MORE OR LESS, BEING SUBJECT TO ANY EASEMENTS OR RIGHTS-OF-WAY OF RECORD;



APPROVALS

TOWN COUNCIL

THIS PRELIMINARY DEVELOPMENT PLAN, TO BE KNOWN AS REVERE NORTH FILING NO. 1 PDP, IS APPROVED AND ACCEPTED BY THE TOWN OF JOHNSTOWN, BY RESOLUTION NUMBER _____, PASSED AND ADOPTED ON FINAL READING AT A REGULAR MEETING OF THE TOWN COUNCIL OF THE TOWN OF JOHNSTOWN, COLORADO HELD ON THE _____ DAY OF _____, 20____.

BY: _____ ATTEST: _____
MAYOR TOWN CLERK

REVERE NORTH GENERAL NOTES

- A. ALL UNPLATTED PROPERTY (PER THE FINAL PLAT SUBDIVISION PROCESS) WITHIN THIS PUD MAY REMAIN IN AGRICULTURAL USE UNTIL SUCH TIME AS DEVELOPMENT OF THAT AREA BEGINS.
- B. FINAL DETERMINATIONS OF THE DRAINAGE SYSTEM, TO INCLUDE THE PLACEMENT OF DETENTION/RETENTION PONDS, CHANNELS, AND STORM SEWER, WILL BE MADE IN ACCORDANCE WITH THE APPLICABLE FINAL DRAINAGE REPORTS AND PLANS.
- C. THE SITE DOES NOT CONTAIN ANY KNOWN ENDANGERED SPECIES.
- D. NO ARCHAEOLOGICAL OR HISTORIC AREAS HAVE BEEN IDENTIFIED ON THE SITE.
- E. NO FLOODPLAINS OR GEOLOGIC HAZARDS HAVE BEEN IDENTIFIED OR MAPPED ON THE SITE.
- F. MAINTENANCE ACCESS SHALL BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE DEVELOPMENT AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN OF JOHNSTOWN SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE PURPOSES OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS INCURRED BY THE TOWN WILL BE ASSESSED TO THE PROPERTY OWNER.
- G. LOTS AND TRACTS AS PLATTED MAY BE REQUIRED TO CONVEY SURFACE DRAINAGE FROM OTHER LOTS AND TRACTS IN THIS FILING, IN ACCORDANCE WITH TOWN OF JOHNSTOWN REQUIREMENTS AND THE APPROVED DRAINAGE PLAN FOR THIS FILING. NO ALTERATIONS TO THE GRADING OF THE LOTS AND TRACTS MAY BE MADE THAT WOULD DISRUPT THE APPROVED DRAINAGE PLAN, WITHOUT PRIOR APPROVAL FROM THE TOWN OF JOHNSTOWN. ALL NATURAL AND IMPROVED DRAINAGE WAYS OR DRAINAGE SYSTEMS IN SAID LOTS AND TRACTS SHALL BE MAINTAINED BY THE LOT OR TRACT OWNER. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN OF JOHNSTOWN SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE PURPOSES OF OPERATIONS AND MAINTENANCE OF THE DRAINAGE WAYS OR DRAINAGE SYSTEMS. ALL SUCH MAINTENANCE COSTS INCURRED BY THE TOWN WILL BE ASSESSED TO THE PROPERTY OWNER.
- H. THIS PRELIMINARY DEVELOPMENT PLAN IS UNDER TOWN OF JOHNSTOWN CASE NUMBER: SUB22-0007.
- I. TRACTS A, B, C, AND D HAVE BEEN RESERVED FOR FUTURE DEVELOPMENT. WATER DEDICATION AND STORM DRAINAGE IMPACT FEES FOR THESE LOTS WILL BE SATISFIED CONCURRENT WITH THE RE-PLAT OF EACH RESPECTIVE LOT.

RELATIONSHIP TO TOWN CODE & DEVELOPMENT STANDARDS

THE PROVISIONS OF THIS PUD SHALL PREVAIL AND GOVERN DEVELOPMENT TO THE EXTENT PERMITTED BY THE TOWN OF JOHNSTOWN MUNICIPAL CODE. WHERE STANDARDS, DETAILS, AND GUIDELINES OF THE PUD (OUTLINE, PRELIMINARY, OR FINAL DEVELOPMENT PLANS) DO NOT CLEARLY ADDRESS A SPECIFIC SUBJECT OR ARE SILENT, THE JOHNSTOWN MUNICIPAL CODE AND OTHER STANDARDS, REGULATIONS, AND GUIDELINES SHALL BE USED. ALL PROPOSED DEVELOPMENT IS SUBJECT TO TOWN OF JOHNSTOWN REVIEW PROCEDURES.

SHEET INDEX

1	COVER
2	HOUSING TYPE PLAN
3	LOT TYPICALS
4	TYPICAL SECTIONS & NOTES
5	OVERALL PLAN
6-11	SITE PLANS
12-25	LANDSCAPE PLANS
26-28	LANDSCAPE NOTES & DETAILS
29	LOT TYPICALS (LANDSCAPE)
30-31	ARCHITECTURAL CHARACTER IMAGERY
32	OPEN SPACE PLAN
33	CIRCULATION PLAN
34	PARKING PLAN
35	FENCING PLAN
36	PLANNING AREA PLAN

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Know what's below.
Call before you dig.



PROJECT NAME

REVERE NORTH FILING NO. 1 & 2
PRELIMINARY/FINAL DEVELOPMENT PLAN
TOWN OF JOHNSTOWN, COLORADO

SUBMITTAL DATE:

06-20-2023

REVISION DATE:

SHEET TITLE

COVER

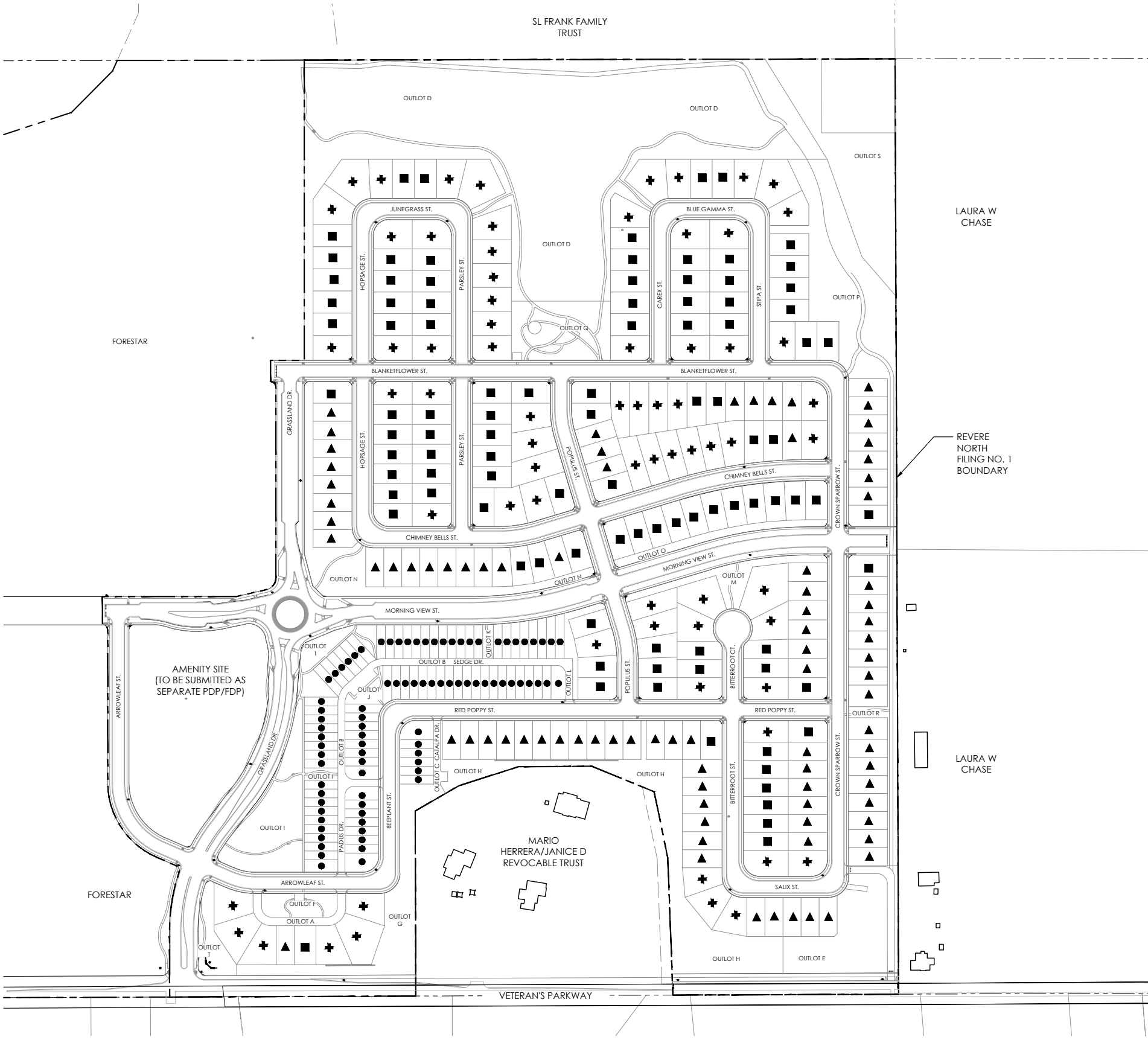
SHEET NUMBER

C.0

SHEET 1 OF 36

NOT FOR CONSTRUCTION

REVERE NORTH FILING NO. 1 & 2 PRELIMINARY DEVELOPMENT PLAN TOWN OF JOHNSTOWN, COLORADO

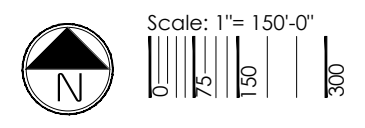


LEGEND

- SINGLE FAMILY ATTACHED
- ▲ SINGLE FAMILY DETACHED <6,000 S.F.
- SINGLE FAMILY DETACHED 6,000-7,000 S.F.
- ✦ SINGLE FAMILY DETACHED >7,000 S.F.

RESIDENTIAL LOT TYPE DATA				
PLANNING AREA	ACRES	HOUSING TYPE	# OF UNITS	% OF UNITS
PA-4A	12.6	SINGLE FAMILY DETACHED <6,000 S.F.	17	5.0%
		SINGLE FAMILY DETACHED 6,000-7,000 S.F.	38	11.2%
		SINGLE FAMILY DETACHED >7,000 S.F.	24	7.1%
SUBTOTAL	12.6		79	23.2%
PA-5	12.5	SINGLE FAMILY DETACHED <6,000 S.F.	15	4.4%
		SINGLE FAMILY DETACHED 6,000-7,000 S.F.	40	11.8%
		SINGLE FAMILY DETACHED >7,000 S.F.	24	7.1%
SUBTOTAL	12.5		79	23.2%
PA-7	5.0	SINGLE FAMILY ATTACHED	86	25.3%
		SINGLE FAMILY DETACHED <6,000 S.F.	53	15.6%
	14.4	SINGLE FAMILY DETACHED 6,000-7,000 S.F.	21	6.2%
		SINGLE FAMILY DETACHED >7,000 S.F.	21	6.2%
SUBTOTAL	19.4		181	53.2%
AMENITY SITE			1	0.3%
TOTAL	44.5		340	100.0%

NOTES:
1. TOTAL ACREAGE IN THE ABOVE TABLE REPRESENTS THE ACREAGE OF RESIDENTIAL LOTS ONLY.



PROJECT NAME
**REVERE NORTH FILING NO. 1 & 2
PRELIMINARY/FINAL DEVELOPMENT PLAN
TOWN OF JOHNSTOWN, COLORADO**

SUBMITTAL DATE:
06-20-2023
REVISION DATE:

SHEET TITLE

**HOUSING TYPE
PLAN**

SHEET NUMBER

C.1

SHEET 2 OF 36

NOT FOR CONSTRUCTION

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REVERE NORTH FILING NO. 1 & 2

PRELIMINARY DEVELOPMENT PLAN

TOWN OF JOHNSTOWN, COLORADO



PROJECT NAME

REVERE NORTH FILING NO. 1 & 2
 PRELIMINARY/FINAL DEVELOPMENT PLAN
 TOWN OF JOHNSTOWN, COLORADO

SUBMITTAL DATE: 06-20-2023
 REVISION DATE:

SHEET TITLE

LOT TYPICALS

SHEET NUMBER

C.2

SHEET 3 OF 36

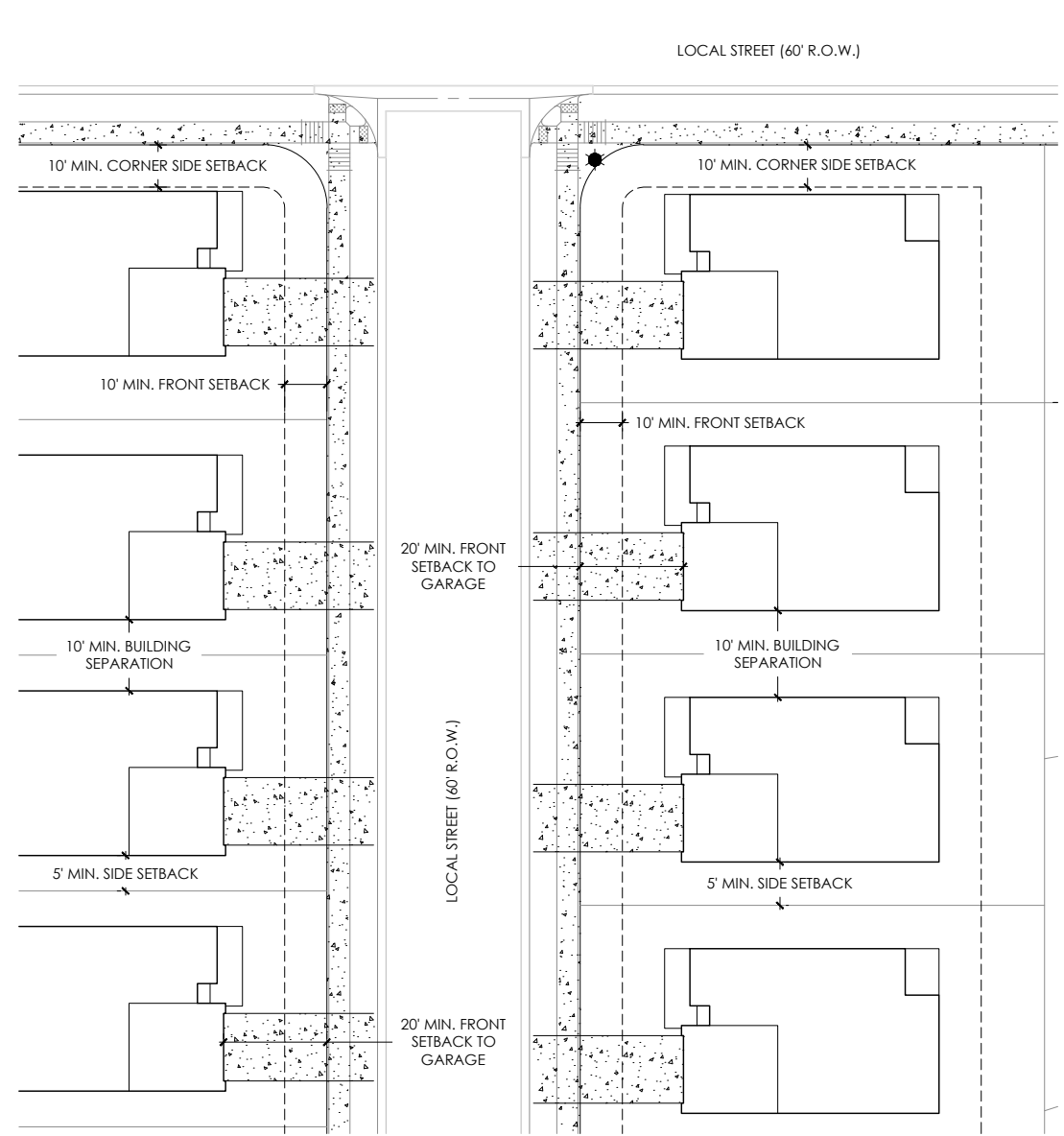


EXHIBIT A - SINGLE FAMILY DETACHED LOT TYPICAL

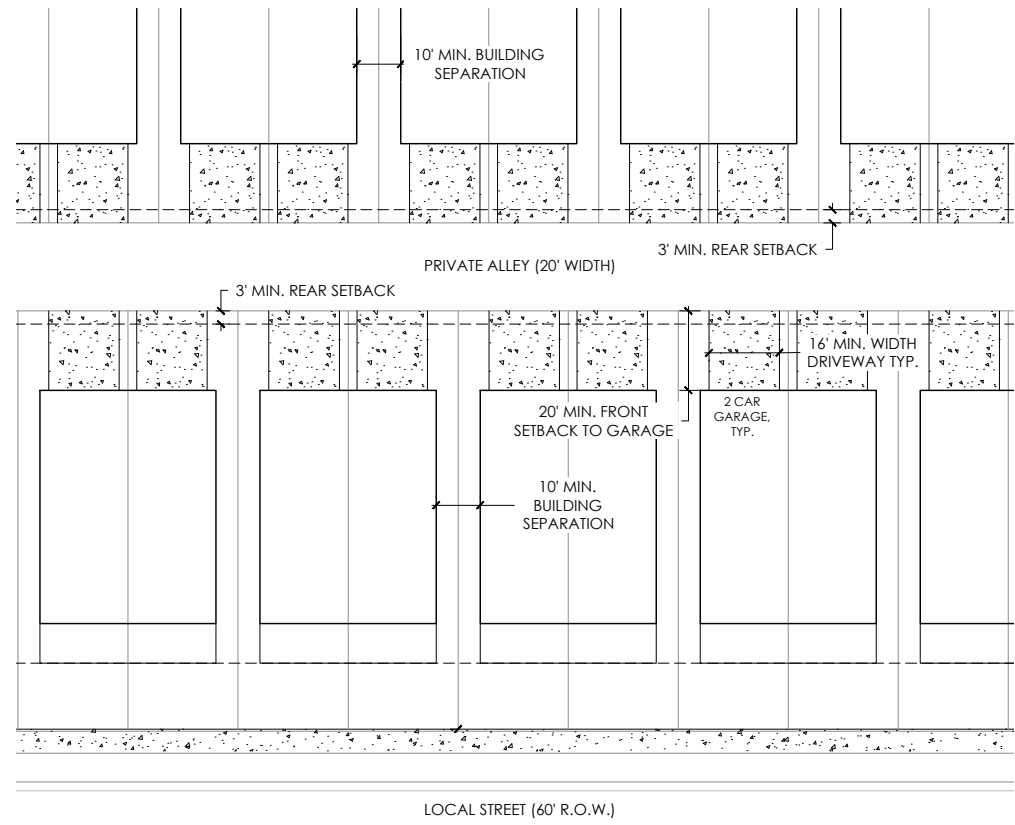
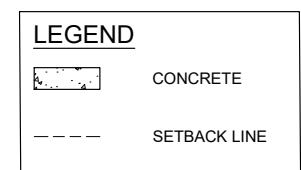


EXHIBIT B - SINGLE FAMILY ATTACHED ALLEY-LOADED LOT TYPICAL

LAND USE DEVELOPMENT STANDARDS MATRIX	
RESIDENTIAL LAND USE DEVELOPMENT STANDARDS MATRIX	
SINGLE FAMILY DETACHED (SFD) RESIDENTIAL	
PRINCIPAL USE	R-M
FRONT SETBACK TO BUILDING	10'
FRONT SETBACK TO COVERED PORCH	5'
FRONT SETBACK TO GARAGE	20'
SIDE SETBACK MINIMUM	5'
*BUILDING SEPARATION	10'
REAR SETBACK - FRONT LOAD	15'
REAR SETBACK - CLUSTER	10'
REAR SETBACK - ALLEY LOAD	3'
SIDE (CORNER) SETBACK	10'
ACCESSORY USE	R-M
MAXIMUM HEIGHT	15'
FRONT SETBACK	20'
SIDE SETBACK	3'*
REAR SETBACK	5'
REAR SETBACK (ALLEY LOAD GARAGE)	3'
SIDE (CORNER) SETBACK	15'

LAND USE DEVELOPMENT STANDARDS MATRIX	
RESIDENTIAL LAND USE DEVELOPMENT STANDARDS MATRIX	
SINGLE FAMILY ATTACHED (SFA) RESIDENTIAL	
PRINCIPAL USE	R-M
FRONT SETBACK TO BUILDING FACE	15'
FRONT SETBACK TO COVERED PORCH	10'
SIDE SETBACK MINIMUM	0'
*BUILDING SEPARATION	10'
REAR SETBACK	15'
REAR SETBACK - ALLEY LOAD GARAGE	3'*
SIDE (CORNER) SETBACK	15'
ACCESSORY USE	R-M
MAXIMUM HEIGHT	15'
FRONT SETBACK	20'
SIDE SETBACK	5'
REAR SETBACK - NON GARAGE	10'
REAR SETBACK (ALLEY LOAD GARAGE)	3'*
SIDE (CORNER) SETBACK	15'

*OR AS REQUIRED BY CURRENT FIRE CODE / INTERNATIONAL BUILDING CODE (I.B.C.)
 NOTE: SETBACKS ONLY APPLY TO FILING NO. 1. FUTURE FILINGS ARE SUBJECT TO THE SETBACKS ESTABLISHED IN THE ODP UNLESS AMENDED THROUGH THE PDP/FDP PROCESS.



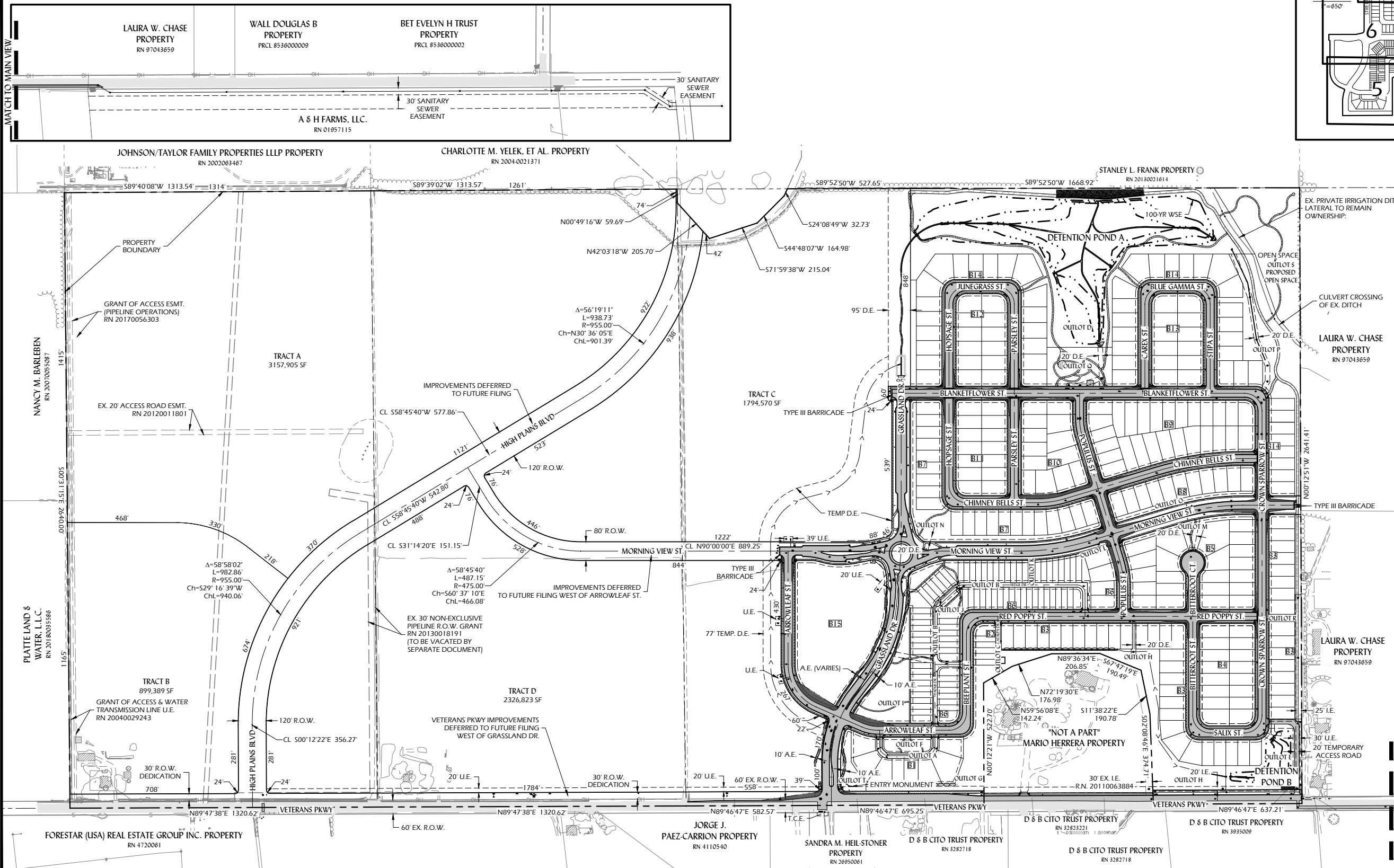
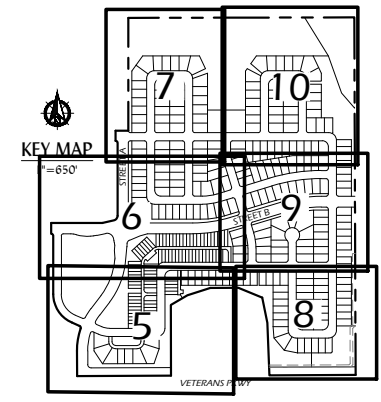
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REVERE NORTH FILING NO. 1 PRELIMINARY DEVELOPMENT PLAN TOWN OF JOHNSTOWN, COLORADO

NOTES:

1. SEE SHEET 3 (C.3) FOR TYPICAL STREET SECTIONS, GENERAL ABBREVIATIONS LIST, GENERAL NOTES, TYPICAL LOT EASEMENT LAYOUT, AND LEGEND.
2. ALL FL CURB RETURNS NOT LABELED ON THE PLANS SHALL BE 15' RADIUS.



PROJECT NAME

REVERE NORTH FILING NO. 1
PRELIMINARY DEVELOPMENT PLAN
TOWN OF JOHNSTOWN, COLORADO

SUBMITTAL DATE:
06-23-2023

REVISION DATE:

SHEET TITLE

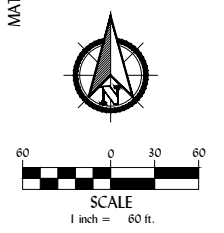
OVERALL PLAN

SHEET NUMBER

C.4

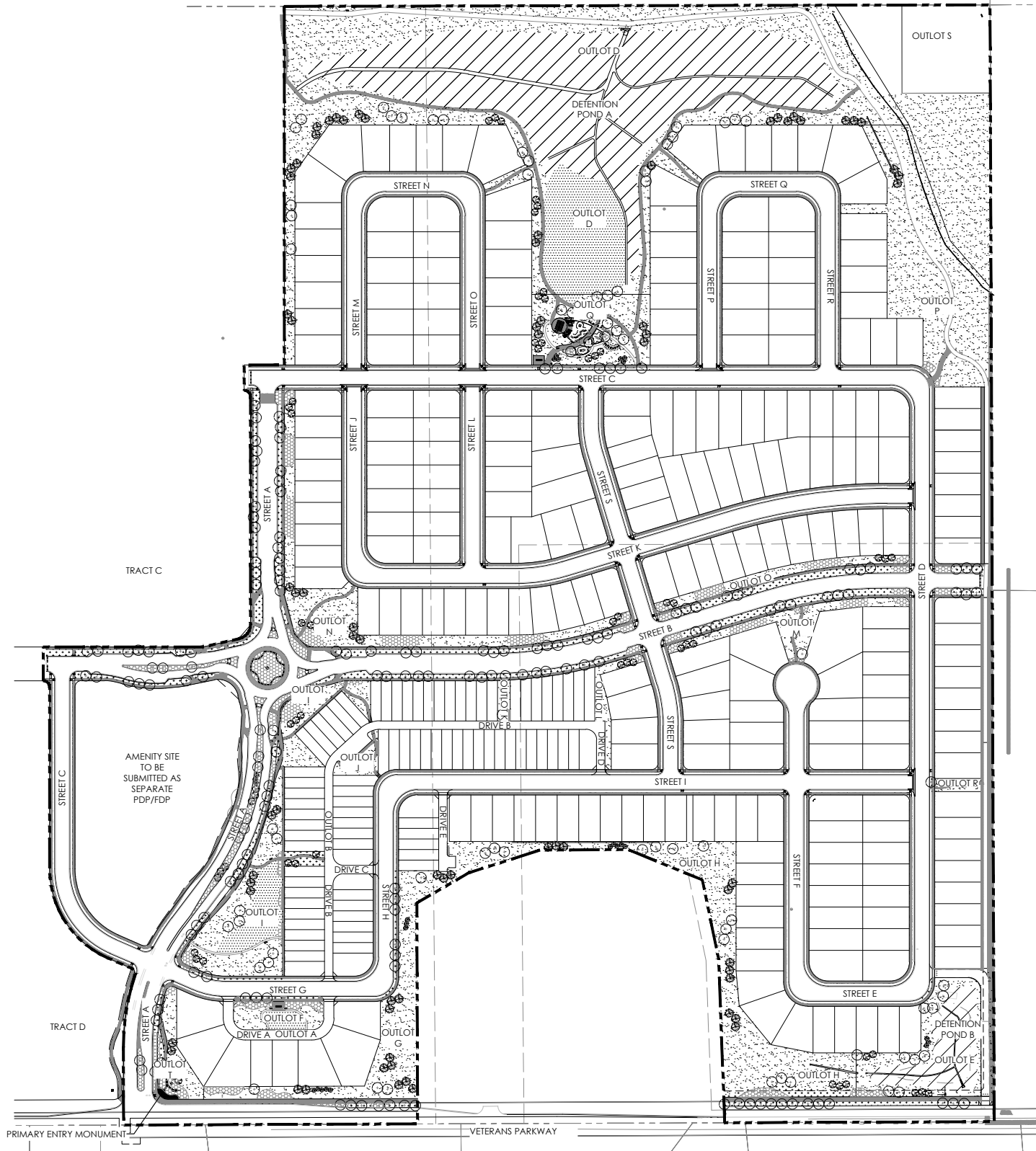
SHEET 5 OF 36

PROJECT BENCHMARK:
NGS CONTROL POINT "JOHNSON BEING A" STEEL ROD SET IN LOGO MONUMENT BOX LOCATED IN FRONT OF LAZY BOYS RV IN JOHNSON'S CORNER, WEST OF THE FRONTAGE ROAD, 550 FEET NORTH OF THE INTERSECTION OF THE FRONTAGE ROAD AND MARKETPLACE DRIVE.
DATUM ELEV. = 5000.64 (NAVD88)

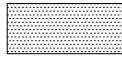
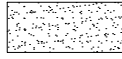


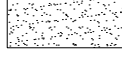







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REVERE NORTH FILING NO. 1 & 2 PRELIMINARY DEVELOPMENT PLAN TOWN OF JOHNSTOWN, COLORADO



LEGEND

-  DROUGHT TOLERANT SOD
-  IRRIGATED NATIVE GRASS
-  NON-IRRIGATED NATIVE GRASS
-  LOW GROW NATIVE GRASS
-  CRUSHER FINES
-  SHRUB BED
-  CONCRETE
-  DECIDUOUS SHADE TREES
-  EVERGREEN TREES
-  ORNAMENTAL TREES



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PROJECT NAME

REVERE NORTH FILING NO. 1 & 2
 PRELIMINARY/FINAL DEVELOPMENT PLAN
 TOWN OF JOHNSTOWN, COLORADO

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SHEET TITLE

**OVERALL
LANDSCAPE PLANS**

SHEET NUMBER

L.1

SHEET 12 OF 36

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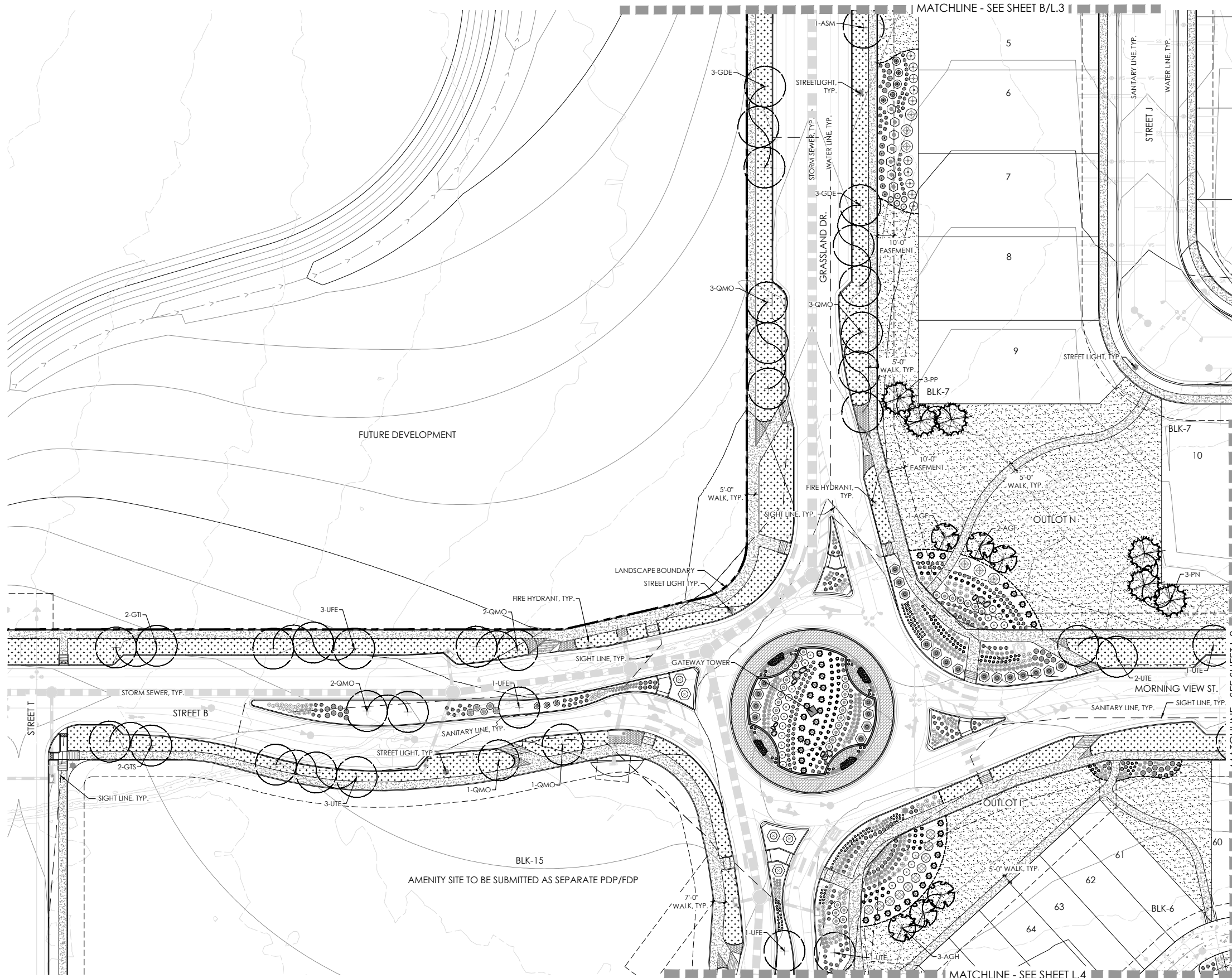


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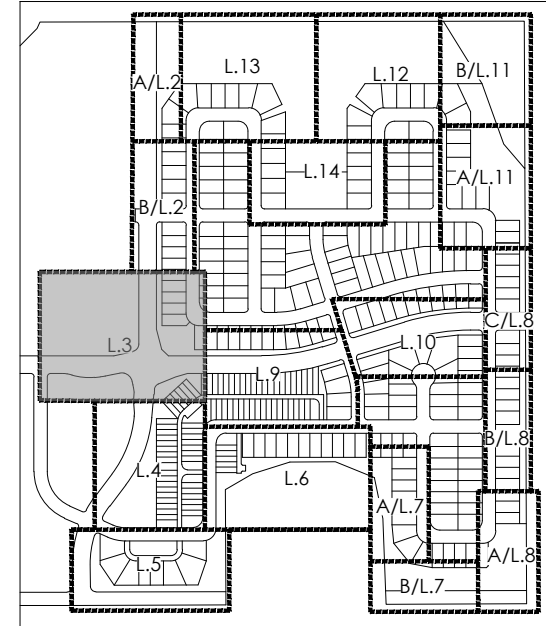


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REVERE NORTH FILING NO. 1 & 2 PRELIMINARY DEVELOPMENT PLAN TOWN OF JOHNSTOWN, COLORADO



KEY MAP



NOT TO SCALE

LEGEND

- DROUGHT TOLERANT SOD
- IRRIGATED NATIVE GRASS
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- LOW GROW NATIVE GRASS
- ROCK MULCH
- CRUSHER FINES
- CONCRETE
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- EVERGREEN TREES
- ORNAMENTAL TREES



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PROJECT NAME

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PRELIMINARY/FINAL DEVELOPMENT PLAN
TOWN OF JOHNSTOWN, COLORADO

SUBMITTAL DATE:

06-20-2023

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SHEET TITLE

LANDSCAPE PLANS

SHEET NUMBER

L.3

SHEET 14 OF 36

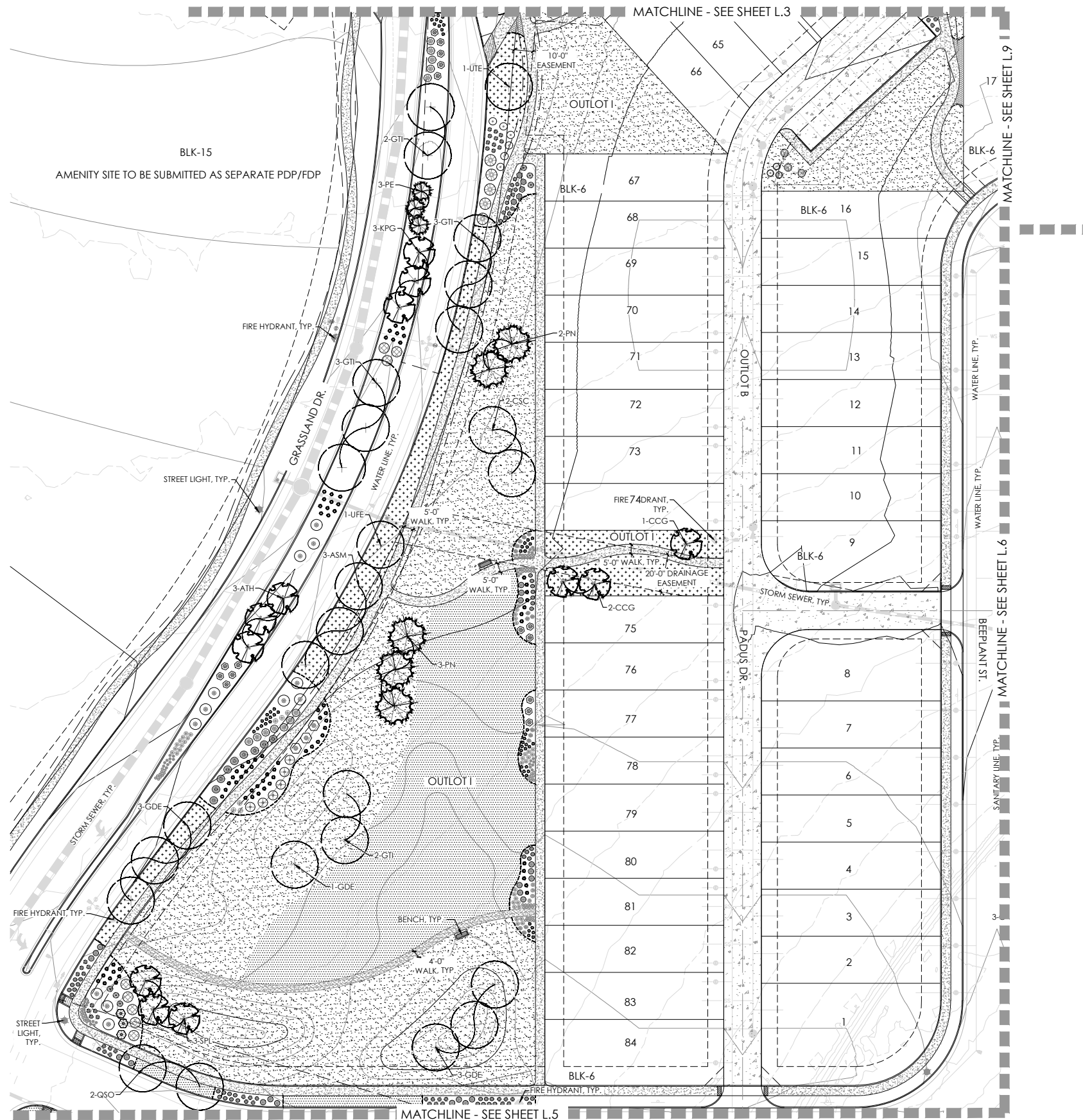
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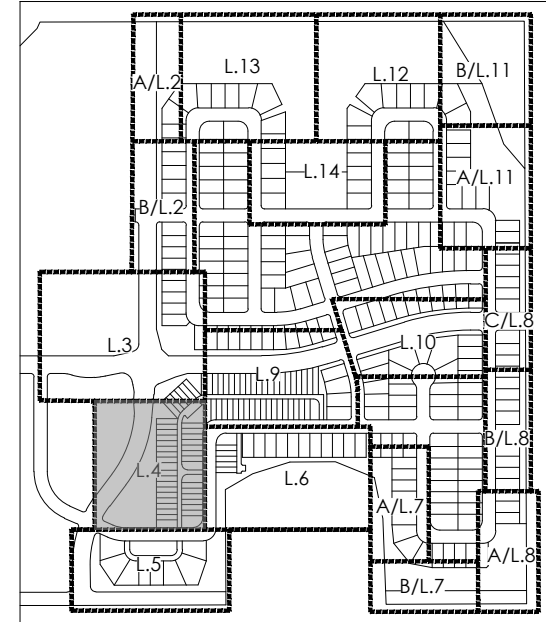
REVERE NORTH FILING NO. 1 & 2

PRELIMINARY DEVELOPMENT PLAN

TOWN OF JOHNSTOWN, COLORADO



KEY MAP



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LEGEND

- DROUGHT TOLERANT SOD
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PROJECT NAME

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PRELIMINARY/FINAL DEVELOPMENT PLAN
TOWN OF JOHNSTOWN, COLORADO

SUBMITTAL DATE:

06-20-2023

REVISION DATE:

SHEET TITLE

LANDSCAPE PLANS

SHEET NUMBER

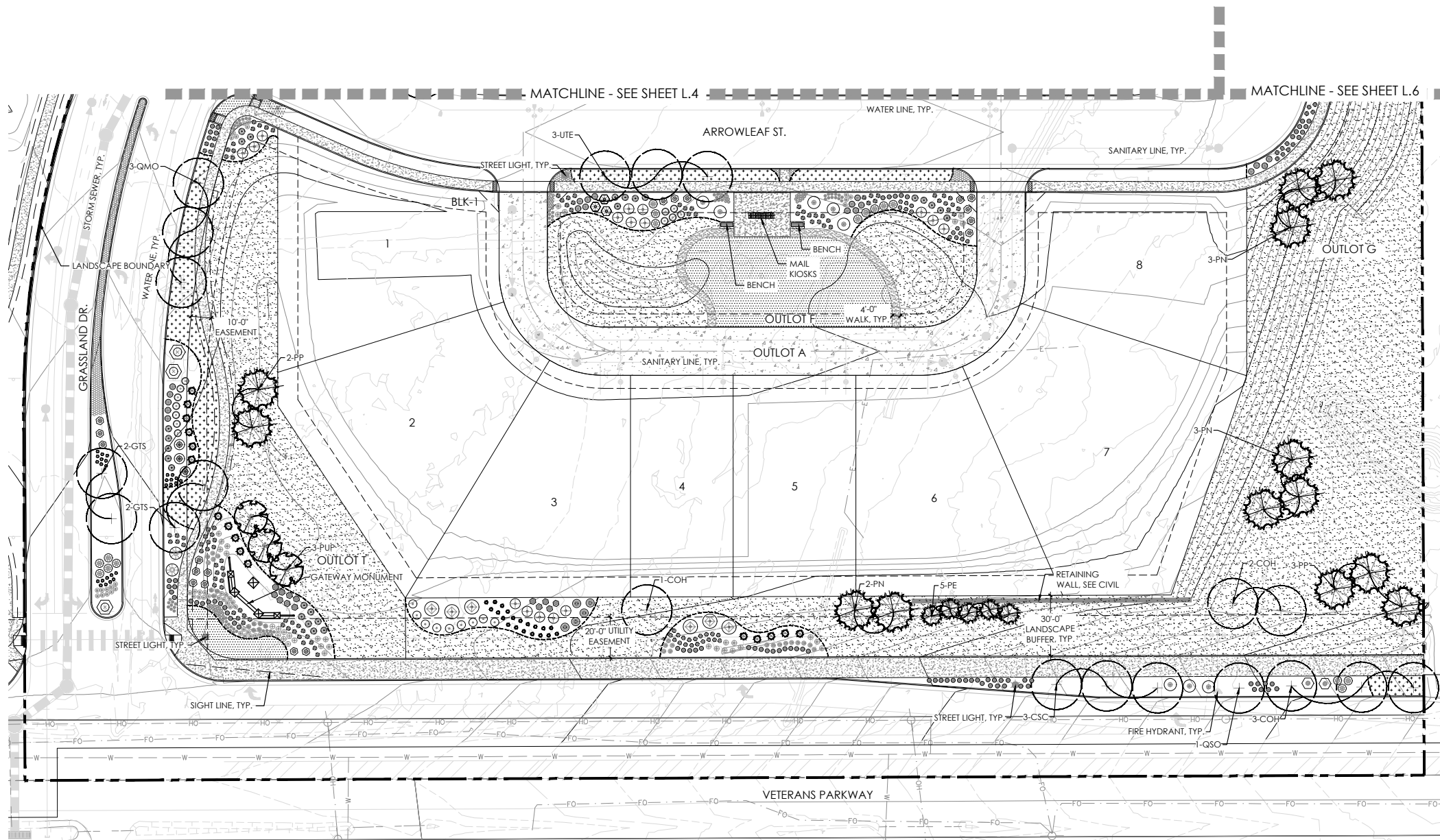
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SHEET 15 OF 36

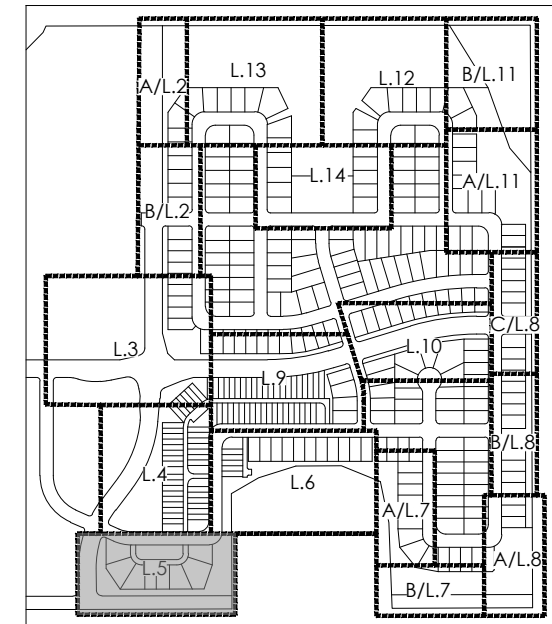
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REVERE NORTH FILING NO. 1 & 2 PRELIMINARY DEVELOPMENT PLAN TOWN OF JOHNSTOWN, COLORADO



KEY MAP



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SUBMITTAL DATE:

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REVISION DATE:

SHEET TITLE

LANDSCAPE PLANS

SHEET NUMBER

L.5

SHEET 16 OF 36

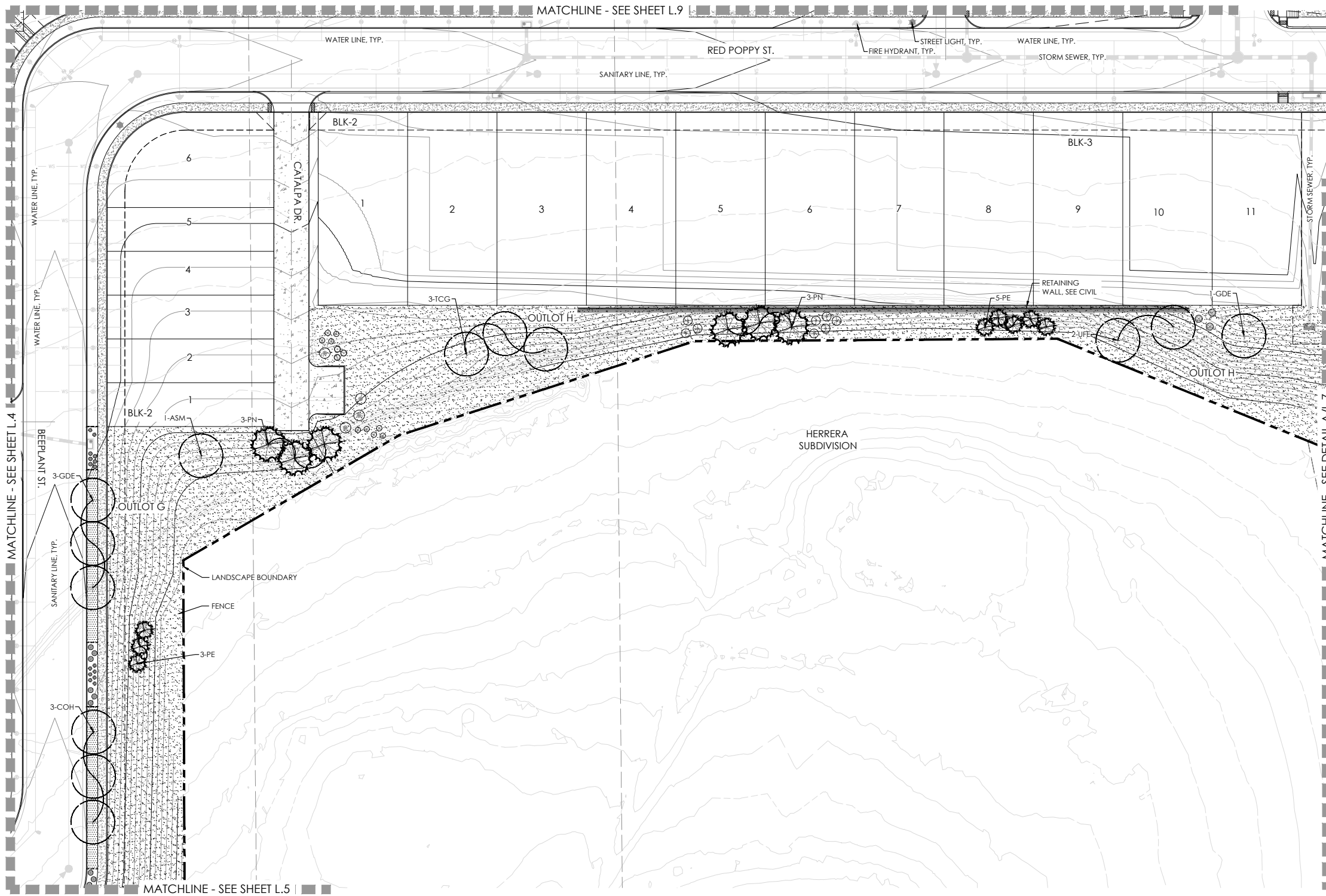


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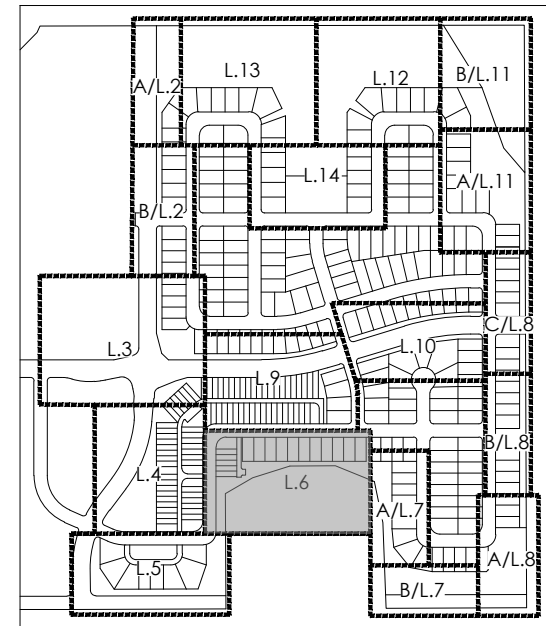


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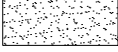
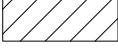









KEY MAP



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PRELIMINARY/FINAL DEVELOPMENT PLAN
TOWN OF JOHNSTOWN, COLORADO

SUBMITTAL DATE:

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REVISION DATE:

SHEET TITLE

LANDSCAPE PLANS

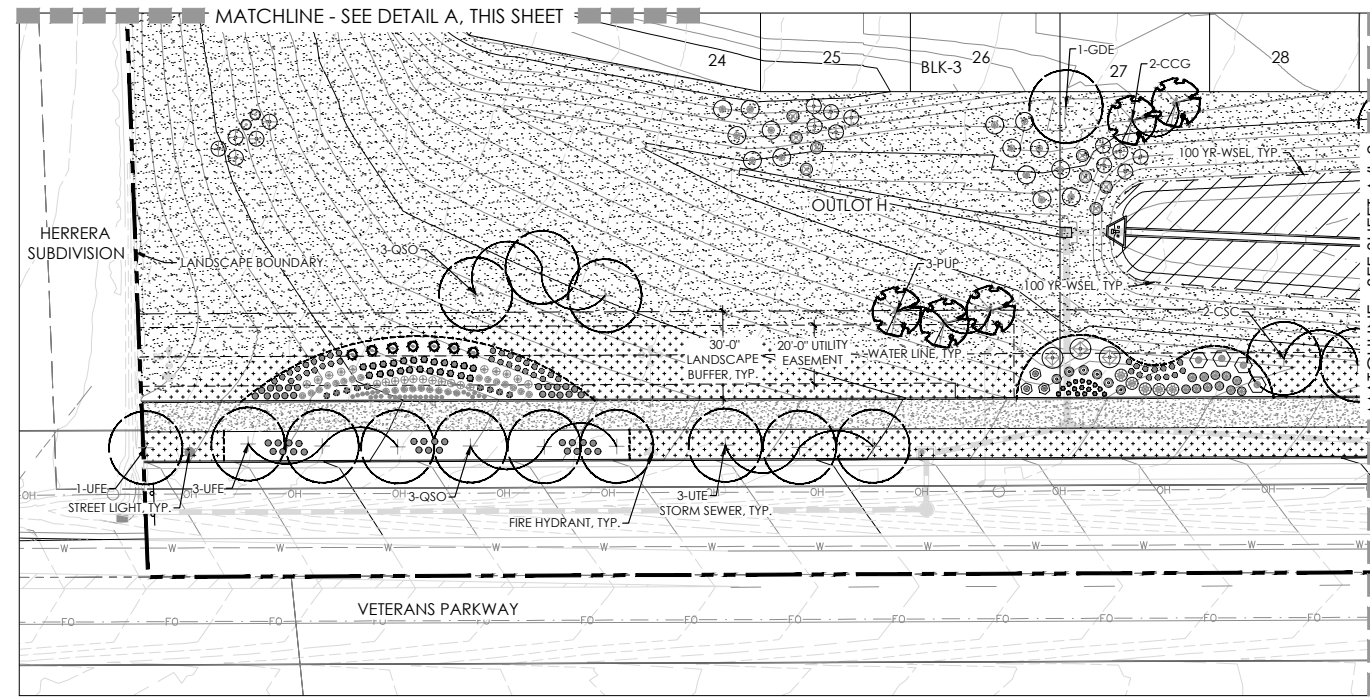
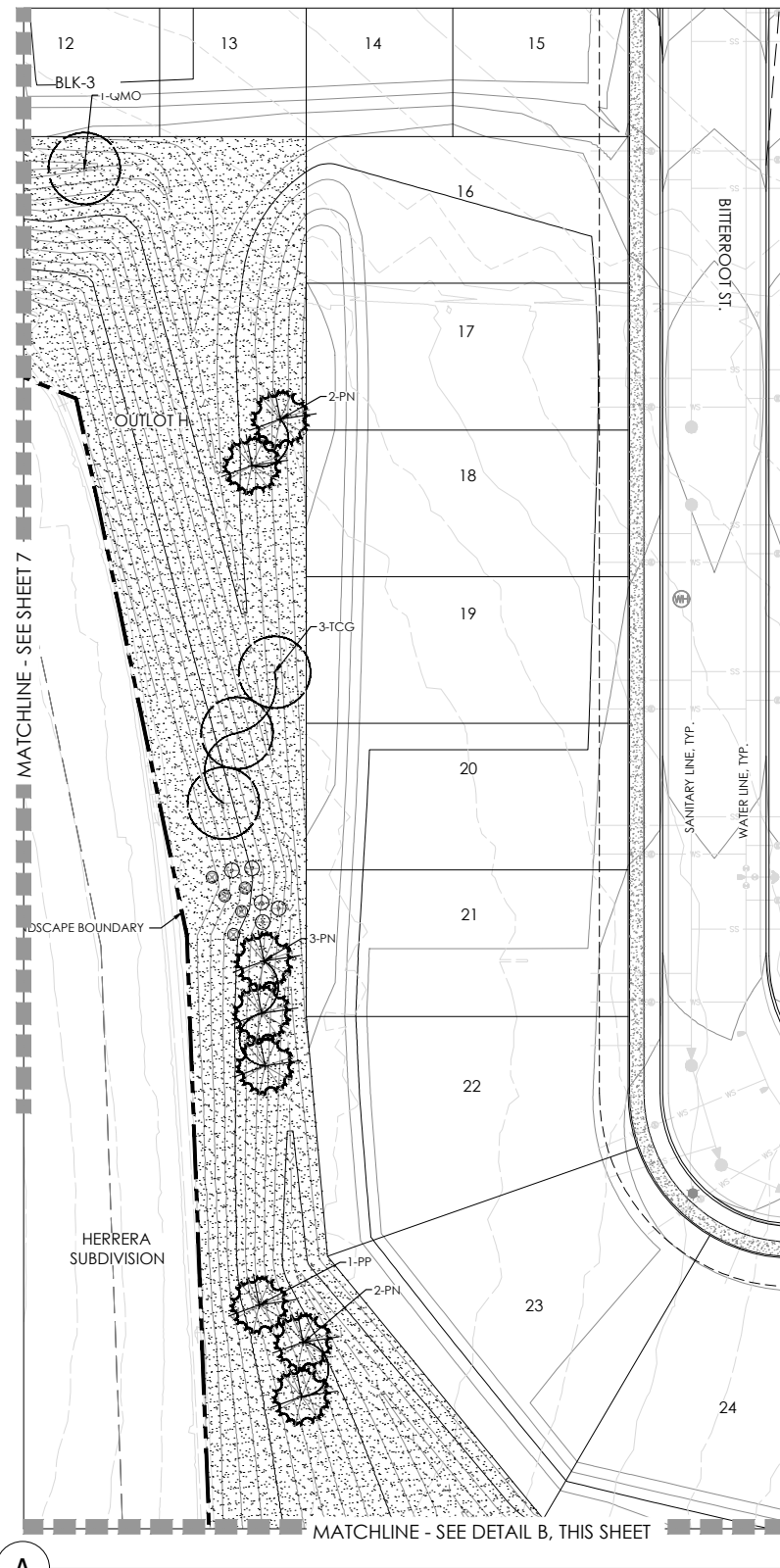
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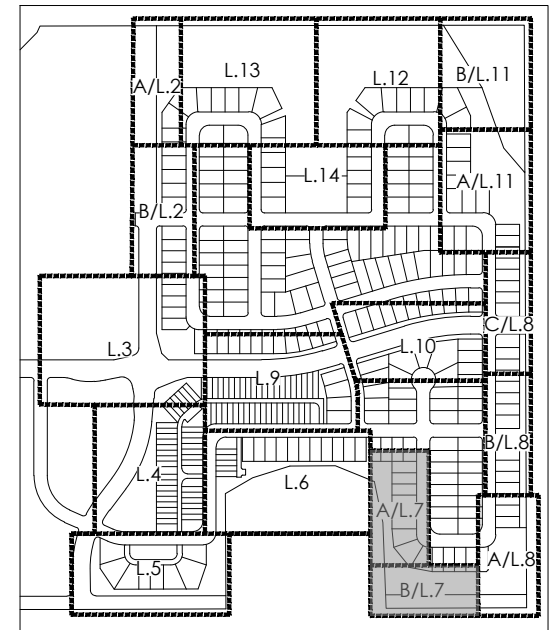
SHEET 17 OF 36

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REVERE NORTH FILING NO. 1 & 2
PRELIMINARY DEVELOPMENT PLAN
TOWN OF JOHNSTOWN, COLORADO



KEY MAP



NOT TO SCALE

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terraccina
design
10200 E Grand Ave., A-314
Denver, CO 80231
ph: 303.632.9867



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TOWN OF JOHNSTOWN, COLORADO

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REVISION DATE:

SHEET TITLE

LANDSCAPE PLANS

SHEET NUMBER

L.7

SHEET 18 OF 36

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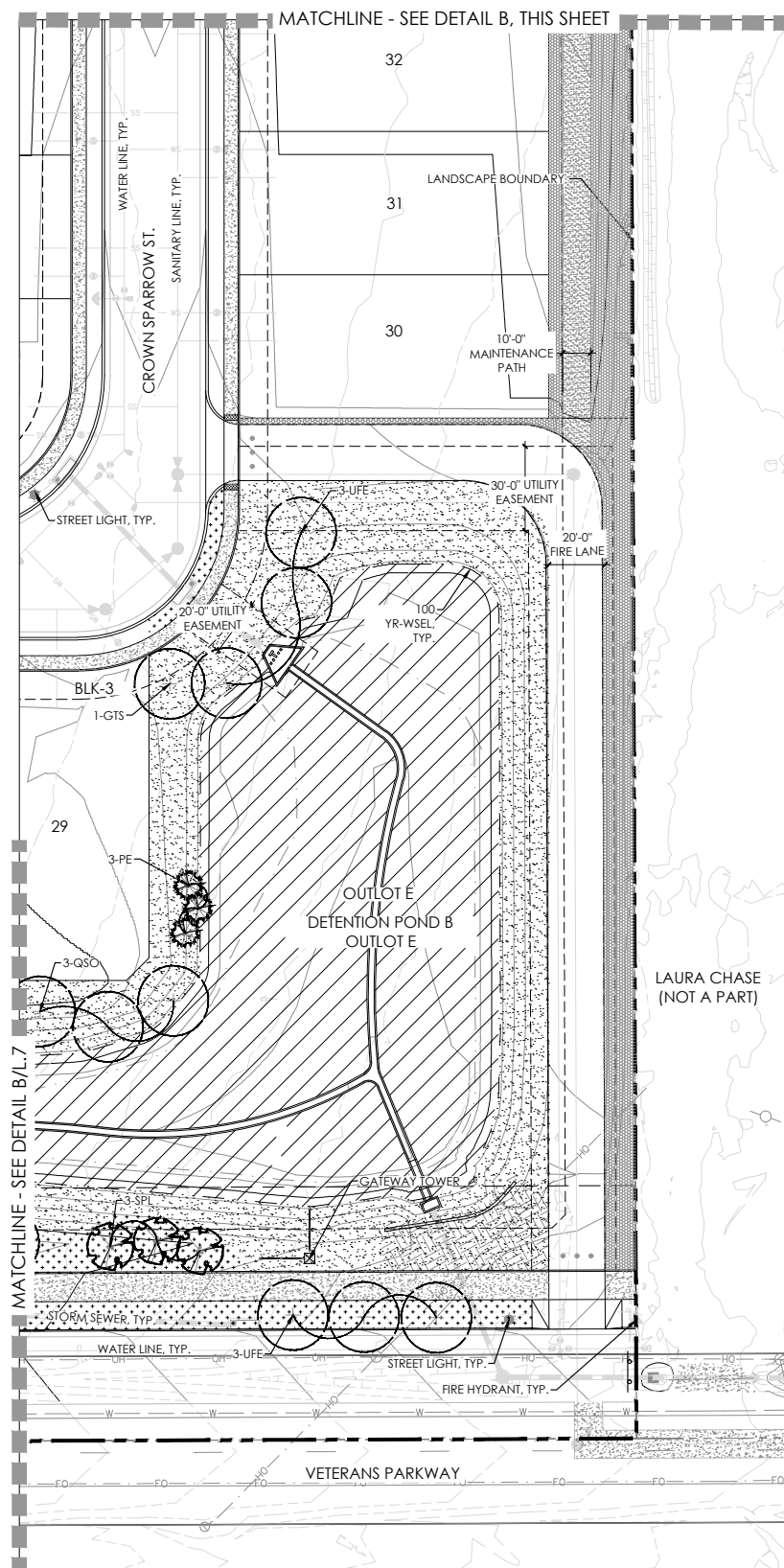
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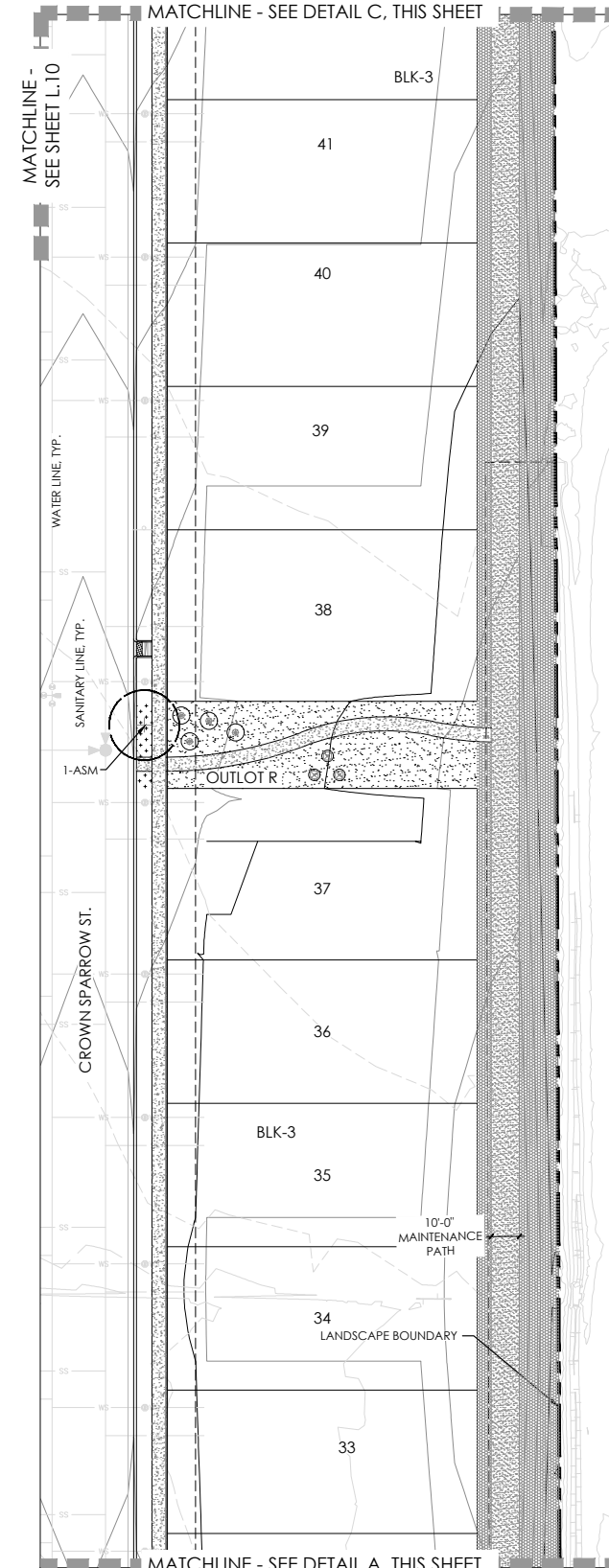
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PRELIMINARY DEVELOPMENT PLAN

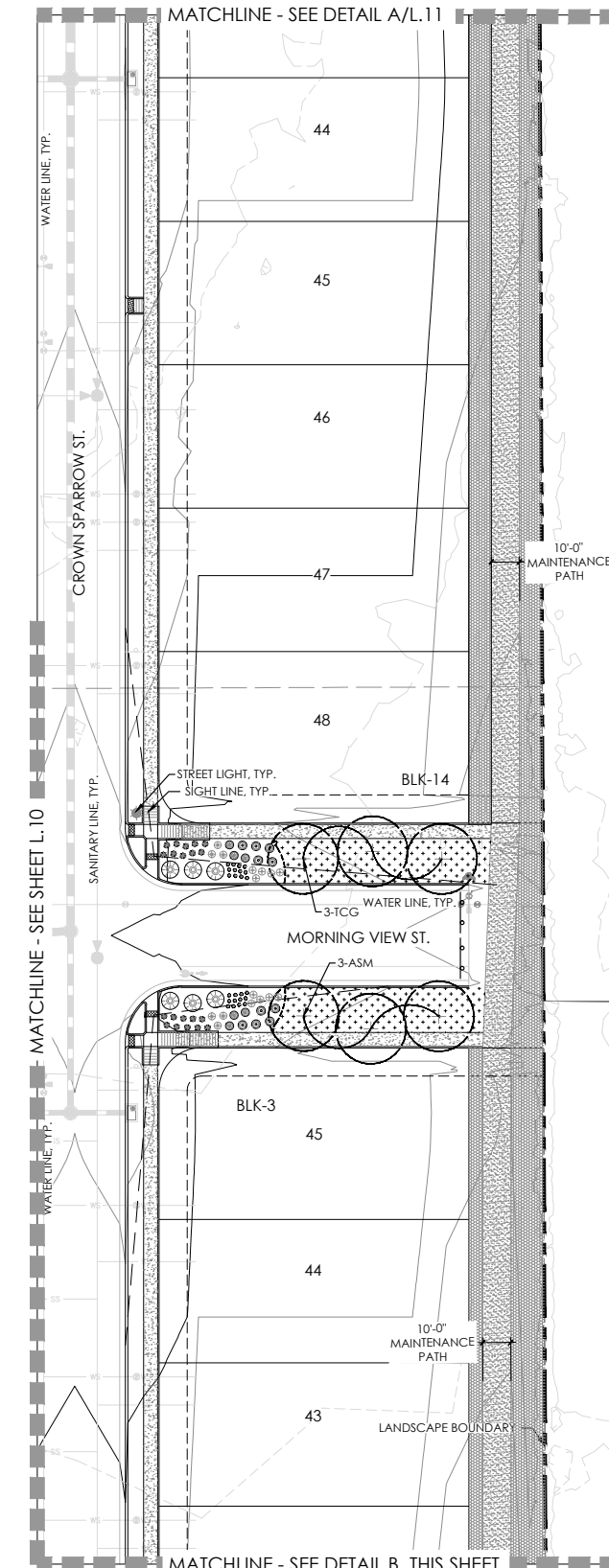
TOWN OF JOHNSTOWN, COLORADO



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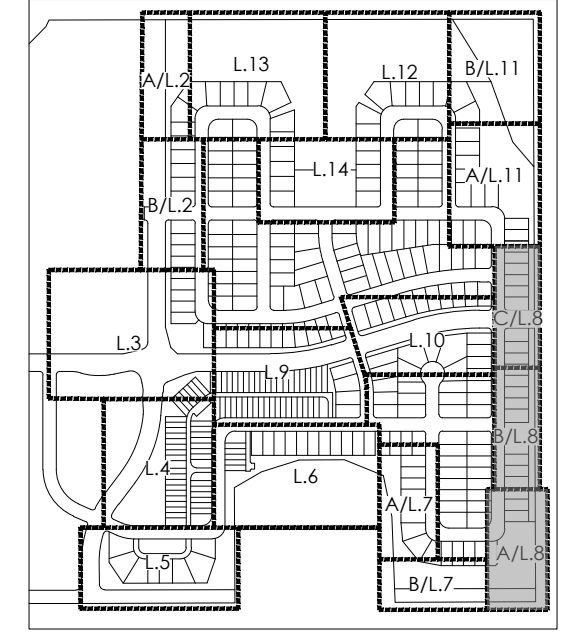


B



C

KEY MAP



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Scale: 1" = 30'-0"



PROJECT NAME

REVERE NORTH FILING NO. 1 & 2
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 TOWN OF JOHNSTOWN, COLORADO

SUBMITTAL DATE:
 06-20-2023
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SHEET TITLE

LANDSCAPE PLANS

SHEET NUMBER

L.8

SHEET 19 OF 36

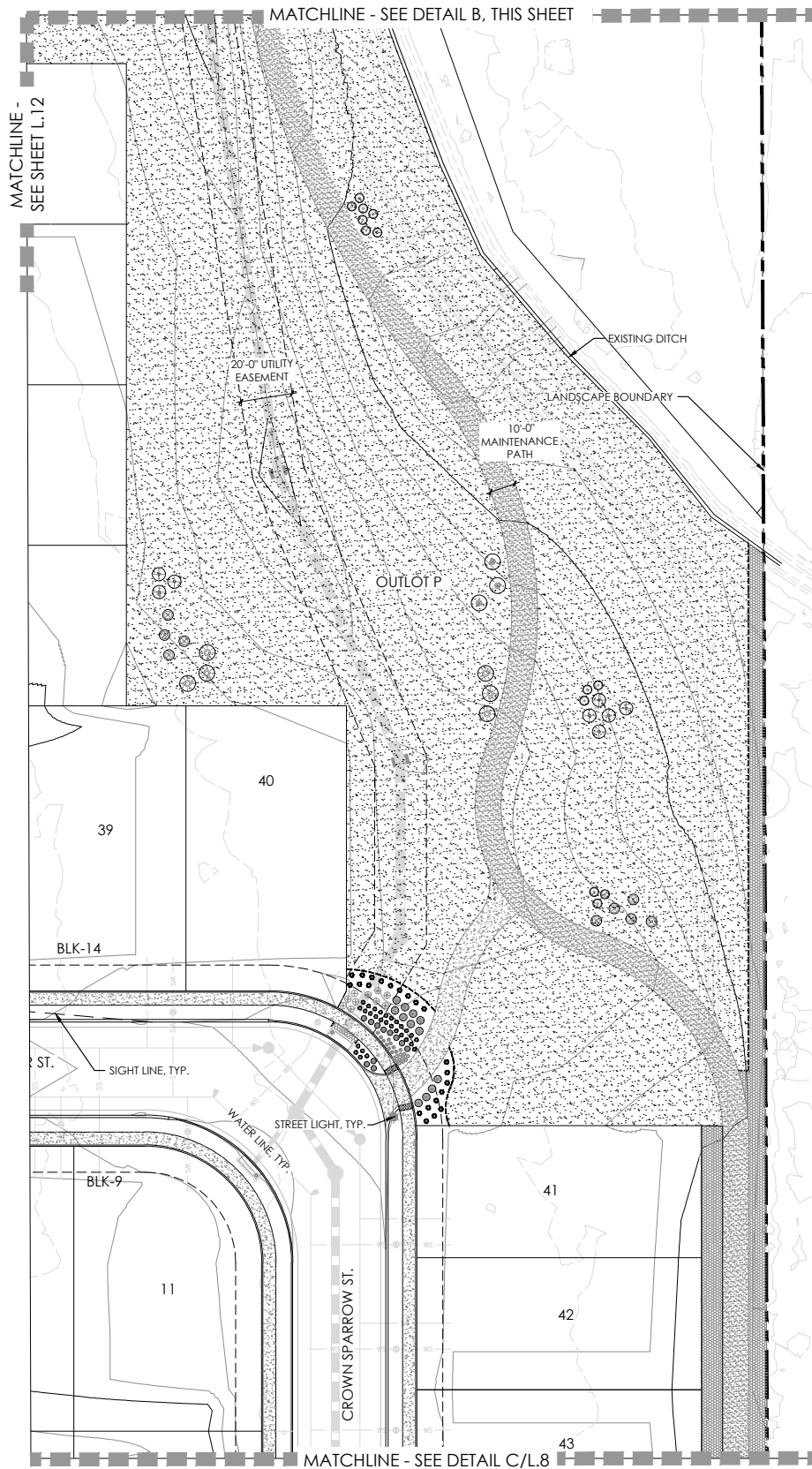
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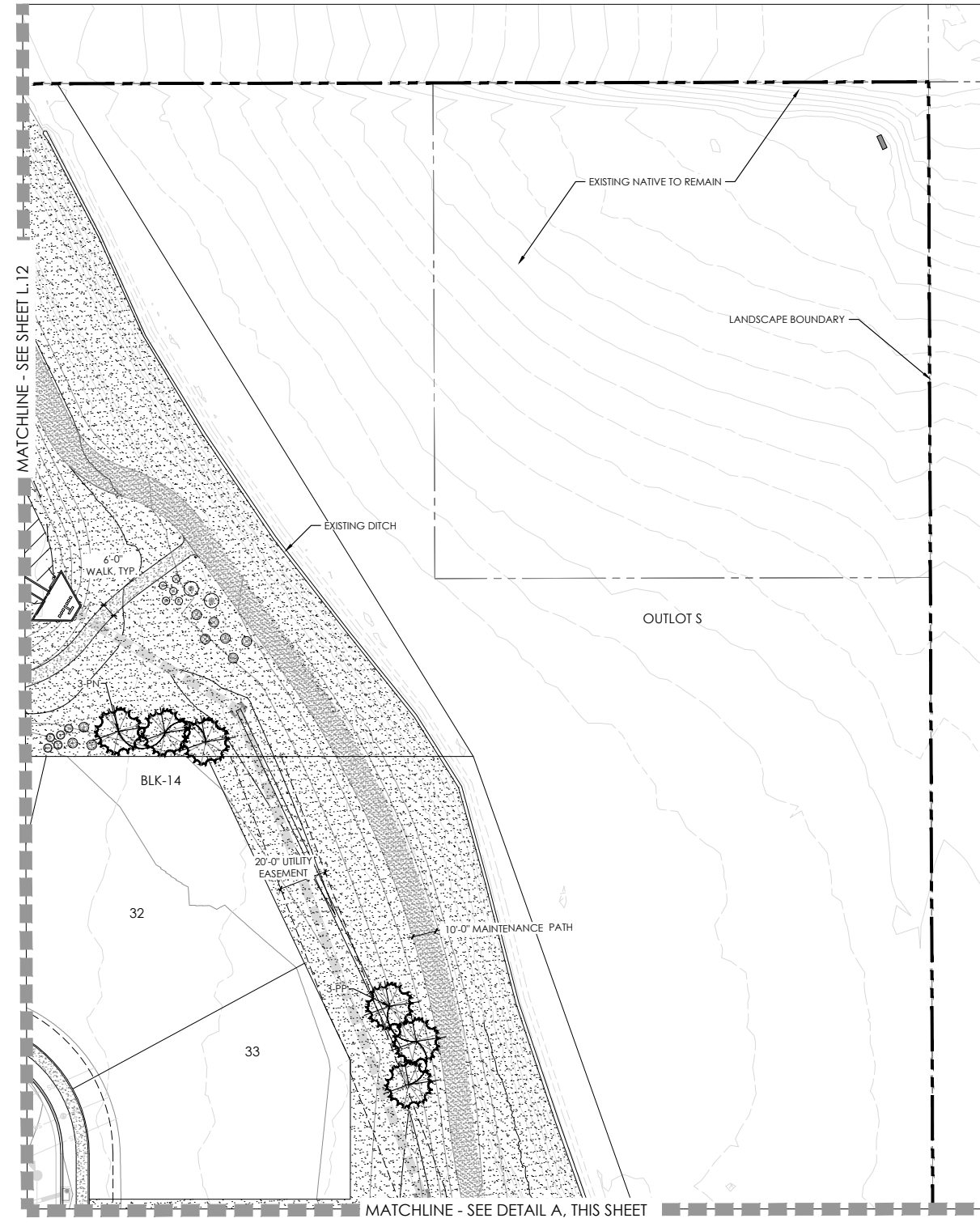
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PRELIMINARY DEVELOPMENT PLAN

TOWN OF JOHNSTOWN, COLORADO

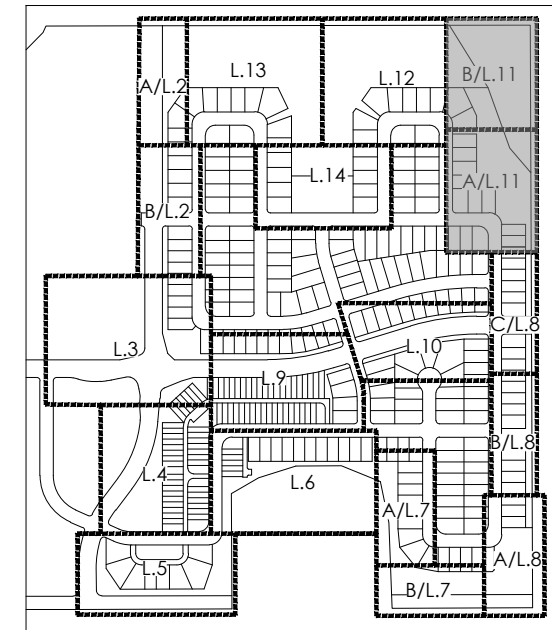


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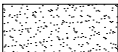








B

KEY MAP



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PROJECT NAME

REVERE NORTH FILING NO. 1 & 2
PRELIMINARY/FINAL DEVELOPMENT PLAN
TOWN OF JOHNSTOWN, COLORADO

SUBMITTAL DATE:

06-20-2023

REVISION DATE:

SHEET TITLE

LANDSCAPE PLANS

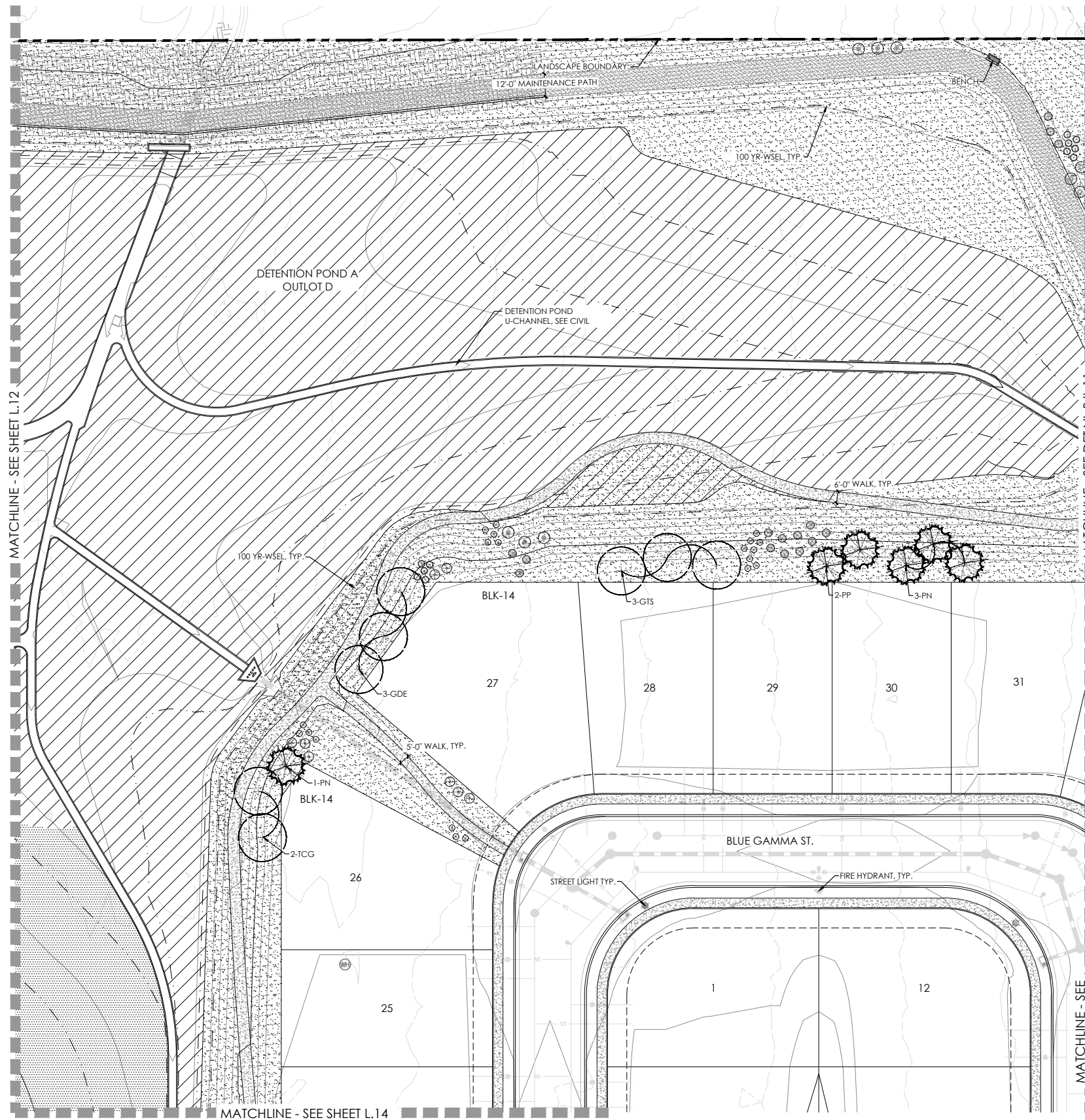
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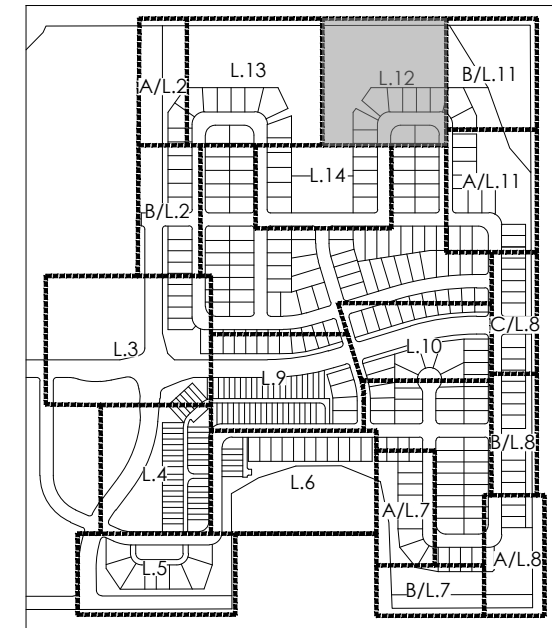
SHEET 22 OF 36

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REVERE NORTH FILING NO. 1 & 2 PRELIMINARY DEVELOPMENT PLAN TOWN OF JOHNSTOWN, COLORADO













KEY MAP



NOT TO SCALE

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PRELIMINARY/FINAL DEVELOPMENT PLAN
TOWN OF JOHNSTOWN, COLORADO

SUBMITTAL DATE:

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REVISION DATE:

SHEET TITLE

LANDSCAPE PLANS

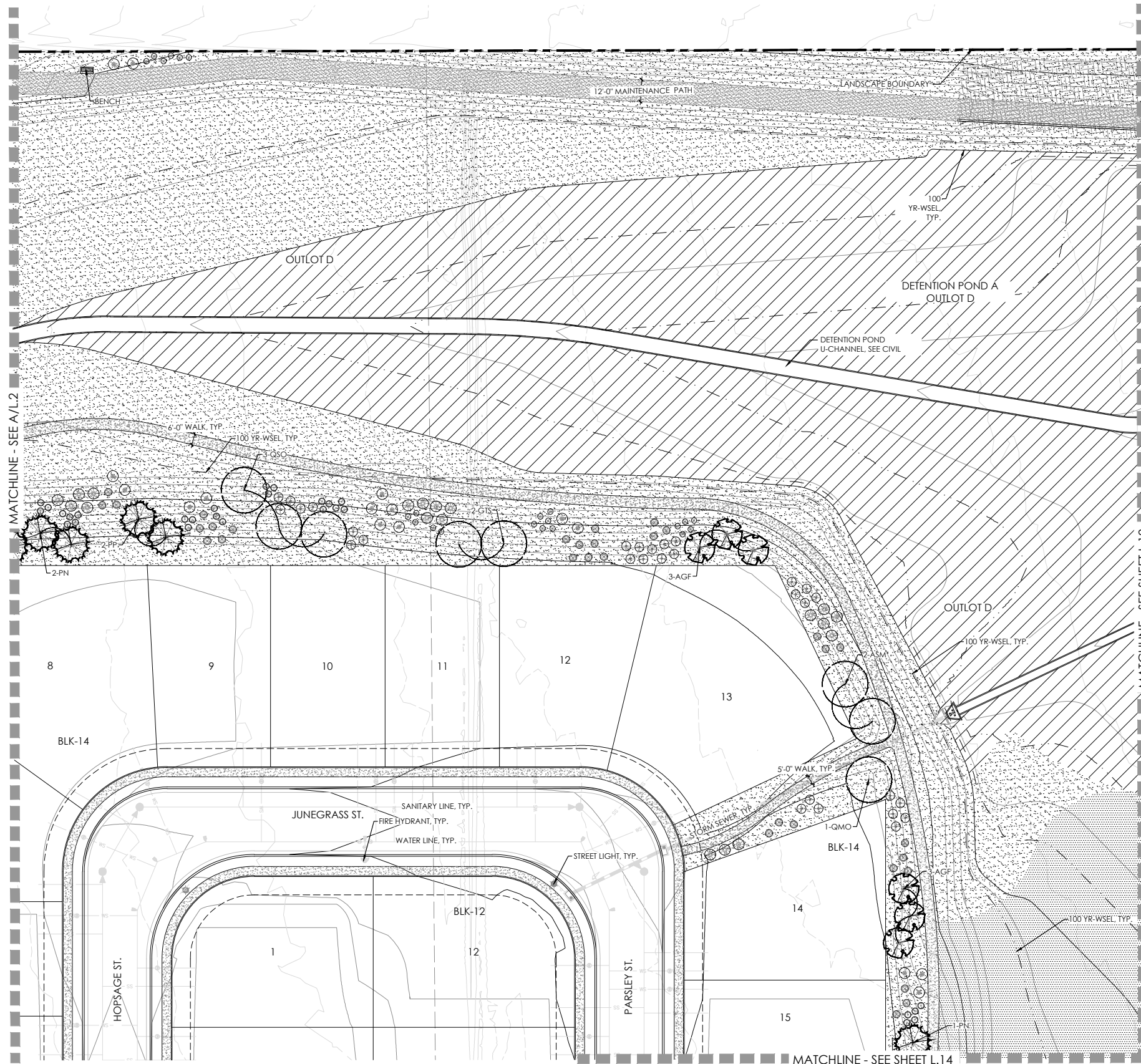
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L.12

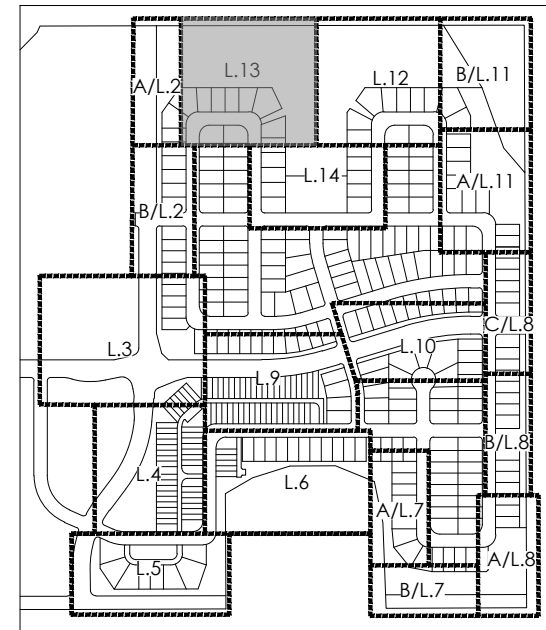
SHEET 23 OF 36

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REVERE NORTH FILING NO. 1 & 2 PRELIMINARY DEVELOPMENT PLAN TOWN OF JOHNSTOWN, COLORADO



KEY MAP



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PRELIMINARY/FINAL DEVELOPMENT PLAN
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LANDSCAPE PLANS

SHEET NUMBER

L.13

SHEET 24 OF 36



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REVERE NORTH FILING NO. 1 & 2

PRELIMINARY DEVELOPMENT PLAN

TOWN OF JOHNSTOWN, COLORADO



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TOWN OF JOHNSTOWN, COLORADO

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06-20-2023
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SHEET TITLE

LANDSCAPE NOTES

SHEET NUMBER

L.15

SHEET 26 OF 36

LANDSCAPE DESIGN INTENT STATEMENT

THE LANDSCAPE DESIGN FOR REVERE NORTH FILING NO. 1 IS INTENDED TO ESTABLISH A UNIQUE SENSE OF PLACE, WHICH REFLECTS THE CHARACTER AND QUALITIES OF THE COLORADO PLAINS. NATIVE AND XERIC PLANT SPECIES HAVE BEEN SELECTED TO FULFILL THIS INTENT. PLANT MATERIAL AND LANDSCAPE FEATURES ARE ARRANGED FOR MAXIMUM VISUAL IMPACT WITH MINIMAL WATER WASTE AND SIMPLE MAINTENANCE.

PARKS
THE PARK AT REVERE NORTH FILING NO. 1 HAS ACTIVE AND PASSIVE FEATURES TO ACCOMMODATE THE RECREATIONAL NEEDS OF VARIOUS AGE GROUPS. A NATURE PLAY AREA FOR THE YOUNGEST USERS IS ADJACENT TO SHADED SEATING AND MEANDERING WALKS, AND AN OPEN TURF AREA PROVIDES SPACE FOR INFORMAL SPORTS.

LANDSCAPE NOTES

- THESE LANDSCAPE STANDARDS SHALL ONLY APPLY TO REVERE NORTH FILING NO. 1. STANDARDS FOR FUTURE FILINGS MAY VARY.
- LOW AND MODERATE WATER-CONSUMING TURF AND OTHER PLANT MATERIAL SHALL BE USED TO THE EXTENT PRACTICAL.
- TREES SHALL NOT BE PLANTED WITHIN 10' OF WATER SEWER OR STORM SEWER UTILITY MAINS.
- EVERGREEN TREES SHALL NOT BE PLACED WITHIN SIGHT TRIANGLES.
- DECIDUOUS STREET TREES SHALL NOT BE PLACED WITHIN 25' OF STREET LIGHTS.
- ALL PARK FACILITIES, INCLUDING TRAILS, SHALL MEET THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND AASHTO GUIDELINES.
- NO LANDSCAPING SHALL BE PLANTED THAT IMPAIRS DRAINAGE, INCLUDING SWALES AND DRAINAGE OVERFLOW PATHS.
- SOIL AMENDMENTS SHALL MEET TOWN OF JOHNSTOWN LANDSCAPE REQUIREMENTS.
- NO LANDSCAPING OTHER THAN TURF GRASS SHALL BE INSTALLED WITHIN THREE (3) FEET OF A FIRE HYDRANT, INCLUDING OVERHEAD. THIS RESTRICTION INCLUDES ROCKS, FENCES, TREES, SHRUBS OR OTHER OBJECTS THAT MAY INTERFERE WITH FIREFIGHTER ACCESS TO EFFECTIVELY OPERATE THE FIRE HYDRANT.

PLANT LIST

QTY	SYM	SCIENTIFIC NAME	COMMON NAME	SIZE
DECIDUOUS SHADE TREES				
27	ASM	ACER SACCHARUM 'GREEN MOUNTAIN'	MAPLE, SUGAR GREEN MOUNTAIN	2' CAL
25	COH	CELTIS OCCIDENTALIS	WESTERN HACKBERRY	2' CAL
25	CSC	CATALPA SPECIOSA	CATALPA, WESTERN	2' CAL
26	GDE	GYMNOCLADUS DIOICUS	KENTUCKY COFFEETREE	2' CAL
36	GII	GLEDITSIA TRIACANTHOS INERMIS 'IMPERIAL'	HONEYLOCUST, IMPERIAL	2' CAL
25	GTS	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	HONEYLOCUST, SHADEMASTER	2' CAL
27	QMO	QUERCUS MACROCARPA	OAK, BUR	2' CAL
23	QSO	QUERCUS SHUMARDI	OAK, SHUMARD	2' CAL
28	TCG	TILLIA CORDATA 'GREENSPIRE'	LINDEN, GREENSPIRE	2' CAL
28	UFE	ULMUS 'FRONTIER'	ELM, FRONTIER	2' CAL
22	UTE	ULMUS X TRIUMPH	ELM, TRIUMPH	2' CAL
ORNAMENTAL TREES				
17	AGF	ACER GINNALA 'FLAME'	MAPLE, AMUR OR GINNALA FLAME	6'-8' HT MULTI
24	AGH	ACER X GRANDIDENTATUM 'HIGHLAND PARK'	MAPLE, BIGTOOTH 'HIGHLAND PARK'	6'-8' HT MULTI
26	AHJ	ACER TATARICUM 'HOT WINGS'	MAPLE, HOT WINGS	6'-8' HT MULTI
26	CCG	CRATAEGUS CRUS-GALLI INERMIS	HAWTHORN, THORNLESS COCKSPUR	6'-8' HT MULTI
12	KFG	KOELREUTERIA 'PANICULATA'	GOLDENRAIN TREE	1.5' CAL
24	PUP	PYRUS USSURIENSIS 'PRAIRIE GEM'	PEAR, PRAIRIE GEM	1.5' CAL
4	SPL	SYRINGA PEKINENSIS	LILAC, PEKING	1.5' CAL
EVERGREEN TREES				
36	PE	PINUS EDULIS	PINE, PINON	6'-8' HT
8	PFV	PINUS FLEXILIS 'VANDERWOLF'S PYRIMID'	PINE, LUMBER 'VANDERWOLF'S PYRIMID'	6'-8' HT
84	PN	PINUS NIGRA	PINE, AUSTRIAN	6'-8' HT
39	PP	PINUS PONDEROSA	PINE, PONDEROSA	6'-8' HT
EVERGREEN SHRUBS				
23	JHB	JUNIPERUS HORIZONTALIS 'BAR HARBOUR'	JUNIPER, BAR HARBOUR	#5 CONT.
22	JMO	JUNIPERUS X MEDIA 'OLD GOLD'	JUNIPER, OLD GOLD	#5 CONT.
75	JSS	JUNIPERUS SABINA 'SCANDIA'	JUNIPER, SCANDIA	#5 CONT.
21	JSW	JUNIPERUS SCOPULARUM 'WOODWARD'	JUNIPER, WOODWARD ROCKY MOUNTAIN	#5 CONT.
15	PMS	PINUS MUGO 'SLOW MOUND'	PINE, MUGO SLOW MOUND	#5 CONT.
DECIDUOUS SHRUBS				
143	ACL	AMORPHA CANESCENS	LEADPLANT	#5 CONT.
75	ACS	ARTEMISIA CANA	SAGEBRUSH	#5 CONT.
55	COM	COTINUS COGONIGRIA 'WINECRAFT BLACK'	SMOKE TREE, WINECRAFT BLACK	#5 CONT.
48	CCB	CHRYSOTHAMNUS NAUSEOSUS 'ALBIC AULIS'	SPIREA, BLUE MIST	#5 CONT.
160	CLB	CYTISUS X LENA	BROOM, LENA	#5 CONT.
107	ENR	ERICAMERIA NAUSEOSA SSP. NAUSEOSA VAR. NAUSEOSA	RABBITBRUSH, TALL BLUE	#5 CONT.
168	FAP	FALLUGIA PARADOXA	APACHE PLUME	#5 CONT.
25	FFP	FORESTIERA NEOMEXICANA	NEW MEXICO, PRIVET	#5 CONT.
77	PBP	PRUNUS BESSEYI 'PAWNEE BUTTES'	WESTERN SAND CHERRY	#5 CONT.
193	PPG	POTENTILLA FRUITICOSA 'GOLDSTAR'	POTENTILLA, GOLD STAR	#5 CONT.
19	POG	PHYSOCARPUS OPULIFOLIUS 'DARIS GOLD'	NINEBARK, DART'S GOLD	#5 CONT.
19	PSM	PHILADELPHUS X 'SNOWBELLE'	MOCKORANGE, SNOWBELLE	#5 CONT.
67	RAG	RHUS AROMATICA 'GRO-LOW'	SUMAC, DWARF FRAGRANT	#5 CONT.
58	RGM	RIBES ALPINUM 'GREENMOUND'	CURRENT, GREEN MOUND	#5 CONT.
94	RMC	ROSA 'MEIPelta'	ROSE, FUCHSIA MEIDLAND	#5 CONT.
94	RNW	ROSA 'NEARLY WILD'	ROSE, NEARLY WILD	#5 CONT.
ORNAMENTAL GRASSES				
322	AGG	ANDROPOGON GERARDII	BIG BLUESTEM GRASS	#1 CONT.
154	BCS	BOUTELOUA CURTIPENDULA	SIDE-OATS GRAMA GRASS	#1 CONT.
241	HSG	HELICTOTRICHON SEMPERVIRENS	BLUE AVENA GRASS	#1 CONT.
227	PVH	PANICUM VIRGATUM 'HEAVY METAL'	DALLAS BLUES SWITCH GRASS	#1 CONT.
492	SHF	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	#1 CONT.
73	SSB	SCHIZACHYRIUM SCOPARUM 'THE BLUES'	THE BLUES LITTLE BLUESTEM GRASS	#1 CONT.
84	SWG	SPOROBOLUS WRIGHTII	GIANT SACATON GRASS	#1 CONT.
PERENNIALS				
115	ARS	AGASTACHE RUPESTRIS	HYSSOP, SUNSET	F15
31	ATB	ASCLEPIAS TUBEROSA	BUTTERFLY WEED	F15
135	CRK	CENTRANTHUS RUBER	RED VALERIAN	F15
250	GLC	GAURA LINDHEIMERI 'CRIMSON'	WHIRLING BUTTERFLIES 'CRIMSON'	F15
81	GLW	GAURA LINDHEIMERI	WHIRLING BUTTERFLIES	F15
83	HPB	HESPERALOE PARVIFLORA 'BRAKELIGHTS'	FALSE YUCCA, BRAKELIGHTS RED	#1 CONT.
60	KSE	KNIPHOFIA 'STARK'S EARLY HYBRIDS'	TORCHLILLY, RED	#1 CONT.
147	RFG	RUDBECKIA FULGIDA 'GOLDSTRUM'	BLACK EYED SUSAN	1 GAL
202	PAJ	PERISCARIA AFFINIS	HIMALAYAN BORDER JEWEL	F15

PBSI NATIVE SEED MIX

LBS/ACRE	BOTANICAL NAME	COMMON NAME
GRASSES		
1.5	BUCHLOE DACTYLOIDES	BUFFALOGRASS, NATIVE
0.25	CAREX NEBRASCENSIS	NEBRASKA SEDGE, NATIVE *
1	DISTICHUS STRICTA	INLAND SALTGRASS, NATIVE
0.25	JUNJUCUS BALTICUS	BALTIC RUSH, NATIVE*
1	SPARTINA PECTINATA	PRAIRIE CORDGRASS, NATIVE*
1	PASCOPYRIUM SCOPARUM	WESTERN WHEATGRASS, ARIBA*
2	PANICUM VIRGATUM	SWITCHGRASS, BLACKWELL*

PBSI LOW GROW SEED MIX

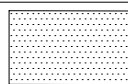
LBS/ACRE	BOTANICAL NAME	COMMON NAME
GRASSES		
7.5	AGROPYRON CRISTATUM	EPHRAIM CRESTED WHEATGRASS
6.25	FESTUCA OVINA	SHEEP FESCUE
5	LOLIUM PERENNE	PERENNIAL RYE
3.75	FESTUCA RUBRA	CHEWINGS FESCUE
2.5	POA COMPRESSA	CANADA BLUEGRASS
TOTAL: 25		

*ALWAYS INCLUDE THESE KEY SPECIES, MAINTAIN AT LEAST 25 LBS/ACRE RATE FOR MIX.
**1/4 LBS MIN. PER SPECIES ORDER

SEED MIX AVAILABLE THROUGH:
PAWNEE BUTTES SEED, INC.
605 25TH ST.
GREELEY, COLORADO 80631
(970) 356-7002

TURF

RTF SOD OR APPROVED EQUAL



LANDSCAPE AREA LEGEND

- ARTERIAL BUFFER
- ARTERIAL ROW
- COLLECTOR ROW
- PRIVATELY OWNED & OPERATED LAND
- DETENTION AREA



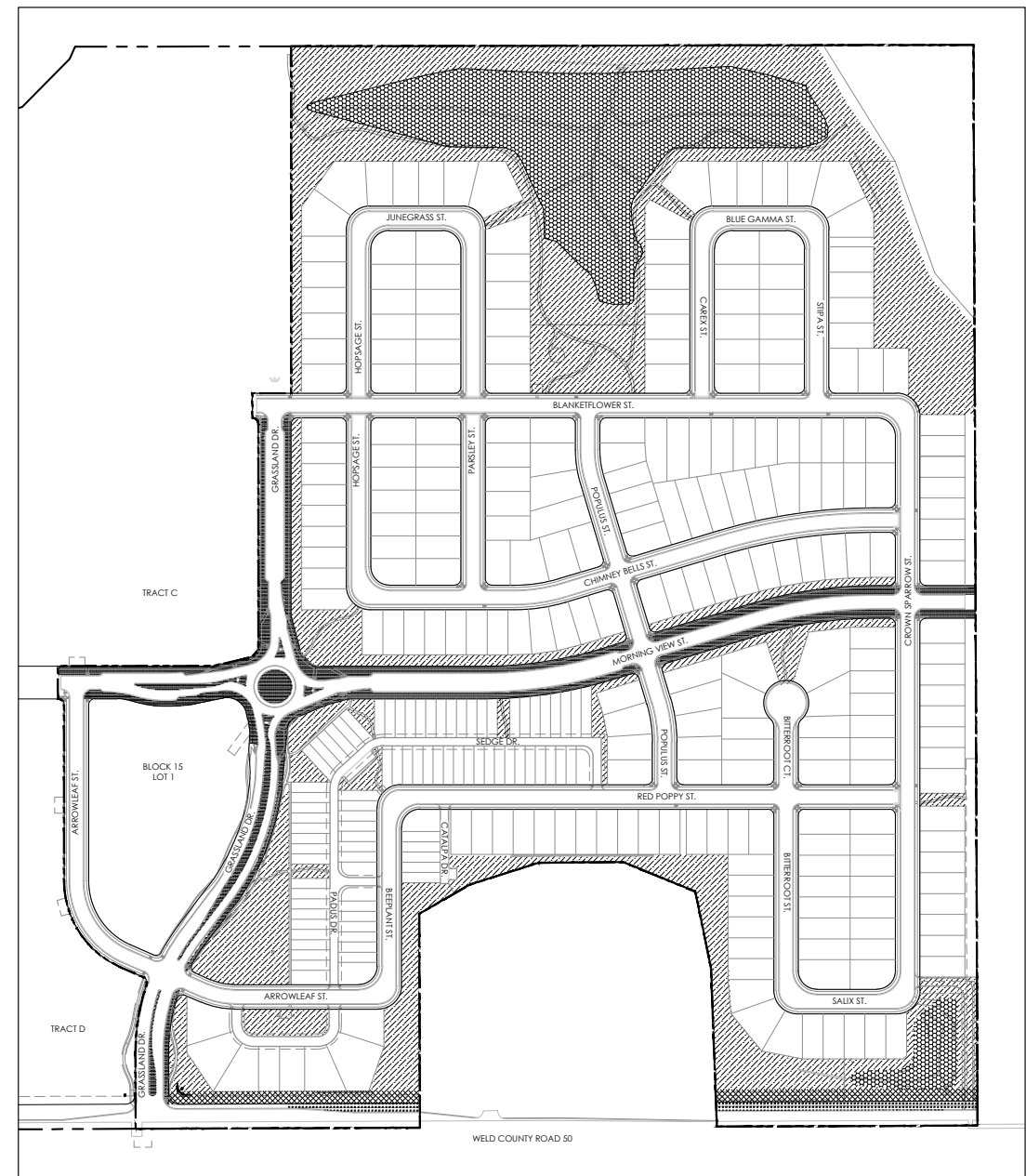
Scale: 1"= 200'-0"



LANDSCAPE AREA TABLE

	Length (LF)	Area (SF)	Area (AC)	% of Development	Trees Required	Trees Proposed	Shrubs Required	Shrubs Proposed
Arterial Buffer								
1 tree + 5 Shrubs per 2,000 square feet		37,621			19	19	95	95
Arterial ROW								
1 tree + 5 Shrubs per 1,000 square feet		19,131			20	20	96	96
Collector ROW								
1 tree per 50 linear ft. and 1 shrub per 2,000 square feet	6,311	127,902			127	127	64	322
Privately Owned and Operated Land								
1 tree + 5 shrubs for every 4,500 square feet		734,795			164	164	817	817
Detention Areas								
1 tree + 5 shrubs for every 75 linear feet of perimeter	4,115	310,999			55	55	275	275
Total	10,426	1,230,448	28.2	27%	385	385	1,347	1,605

LANDSCAPE AREA MAP



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REVERE NORTH FILING NO. 1 & 2 PRELIMINARY DEVELOPMENT PLAN TOWN OF JOHNSTOWN, COLORADO



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PROJECT NAME

REVERE NORTH FILING NO. 1 & 2
PRELIMINARY/FINAL DEVELOPMENT PLAN
TOWN OF JOHNSTOWN, COLORADO

SUBMITTAL DATE:

06-20-2023

REVISION DATE:

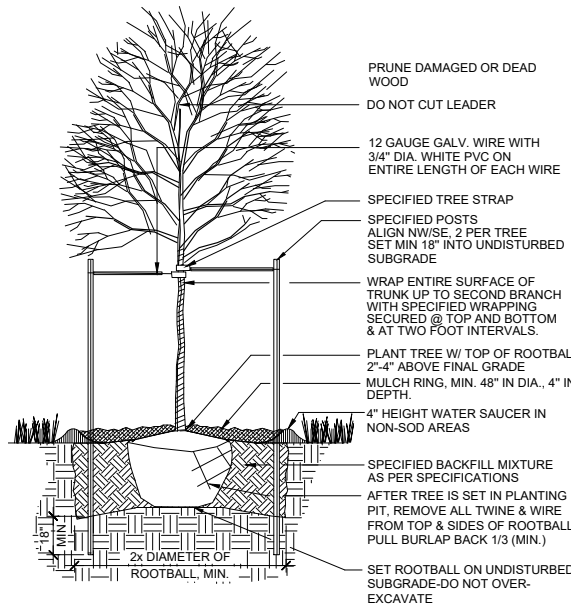
SHEET TITLE

LANDSCAPE DETAILS

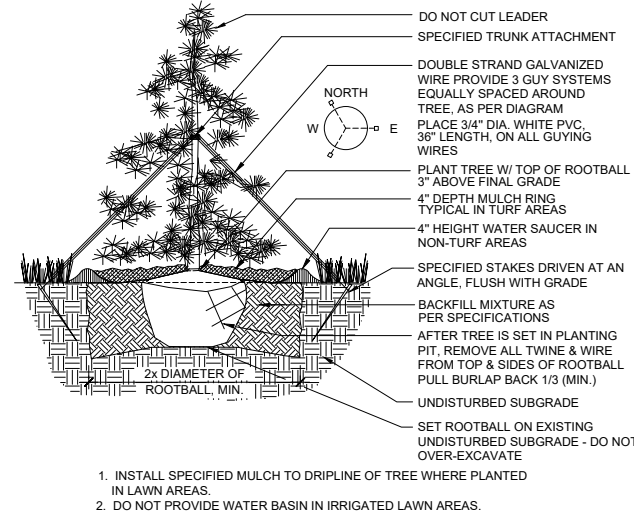
SHEET NUMBER

L.16

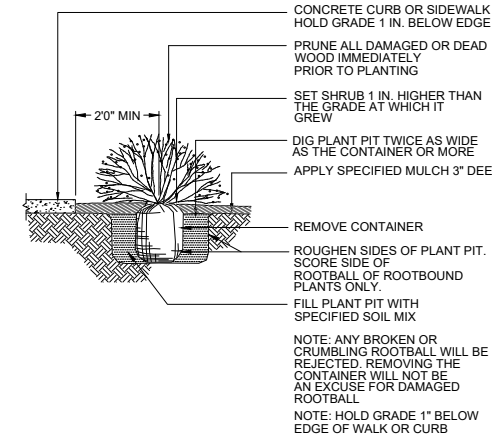
SHEET 27 OF 36



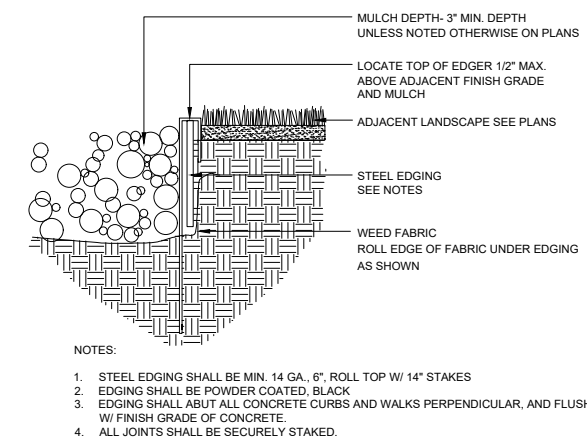
1 DECIDUOUS TREE PLANTING
NTS



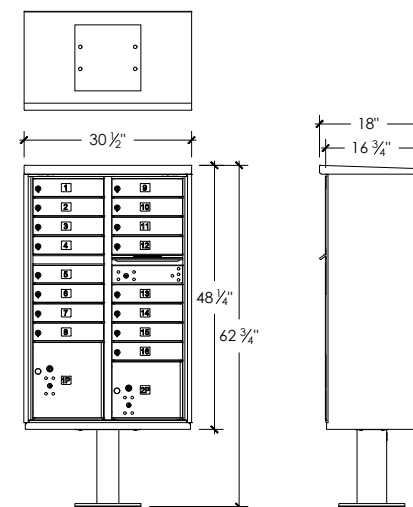
2 EVERGREEN TREE PLANTING
NTS



3 TYPICAL SHRUB PLANTING
NTS

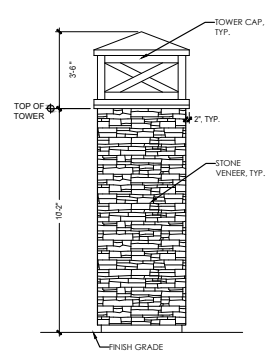


4 STEEL EDGER
NTS

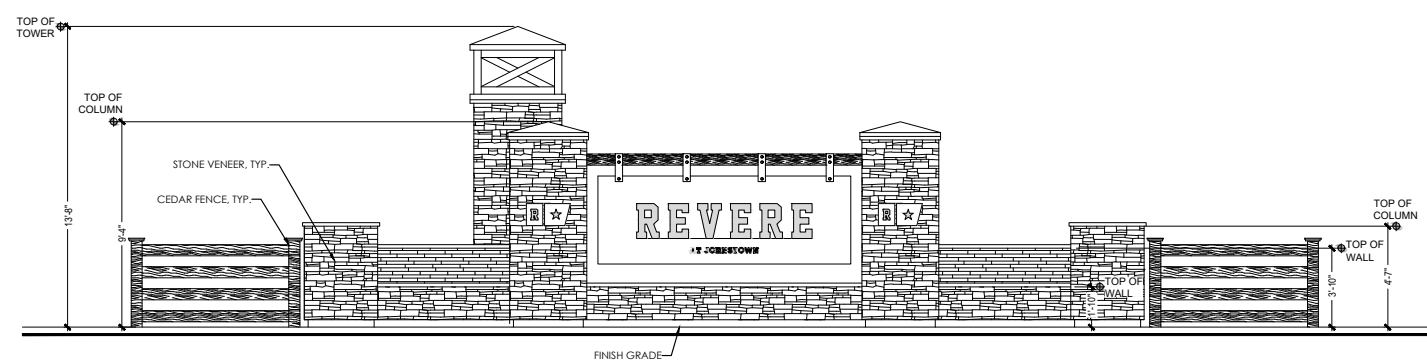


NOTES:
1) EXACT MODEL AND COLOR WILL BE DETERMINED AT A LATER DATE.

5 MAIL KIOSK
NTS



6 GATEWAY TOWER
NTS *PER APPROVED MASTER SIGN PLAN FOR REVERE (ZON22-0001)



7 GATEWAY MONUMENT
NTS *PER APPROVED MASTER SIGN PLAN FOR REVERE (ZON22-0001)

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REVERE NORTH FILING NO. 1 & 2 PRELIMINARY DEVELOPMENT PLAN TOWN OF JOHNSTOWN, COLORADO

NOTE:
IMAGES ARE CONCEPTUAL AND SUBJECT TO CHANGE.
FINAL DESIGN WILL BE PROVIDED AT THE TIME OF FINAL
DEVELOPMENT PLAN.



1 MAIL KIOSK/ SHADE STRUCTURE
NTS



2 BRIDGE
NTS



3 BALANCE LOG
NTS



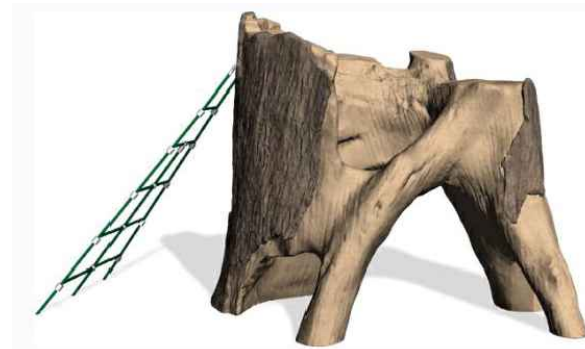
4 STEPPING STUMPS
NTS



5 TUNNEL CRAWL
NTS



6 BIGGO SWING
NTS



7 TREE CAVERN
NTS



8 STEPPING STONE & STUMP
NTS



9 TABLE
NTS



10 BENCH
NTS



11 CHAIR
NTS



12 TRASH RECEPTACLE
NTS

811
Know what's below.
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PROJECT NAME

REVERE NORTH FILING NO. 1 & 2
PRELIMINARY/FINAL DEVELOPMENT PLAN
TOWN OF JOHNSTOWN, COLORADO

SUBMITTAL DATE:

06-20-2023

REVISION DATE:

SHEET TITLE

LANDSCAPE DETAILS

SHEET NUMBER

L.17

SHEET 28 OF 36

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Item 3

6

REVERE NORTH FILING NO. 1 & 2 PRELIMINARY DEVELOPMENT PLAN TOWN OF JOHNSTOWN, COLORADO



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PROJECT NAME

**REVERE NORTH FILING NO. 1 & 2
PRELIMINARY/FINAL DEVELOPMENT PLAN
TOWN OF JOHNSTOWN, COLORADO**

SUBMITTAL DATE:
06-20-2023
REVISION DATE:

SHEET TITLE

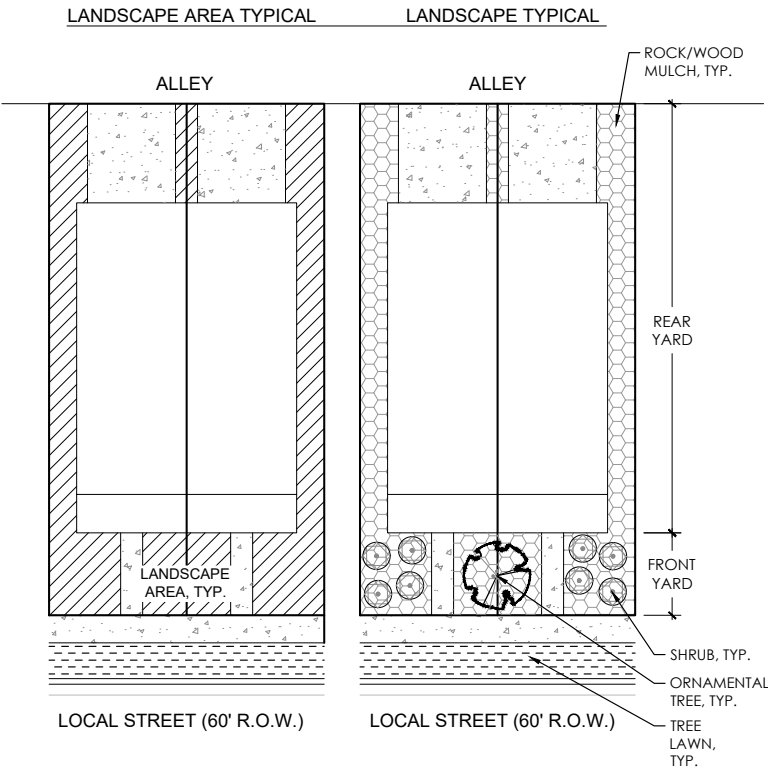
**LOT TYPICALS
(LANDSCAPE)**

SHEET NUMBER

L.19

SHEET 29 OF 36

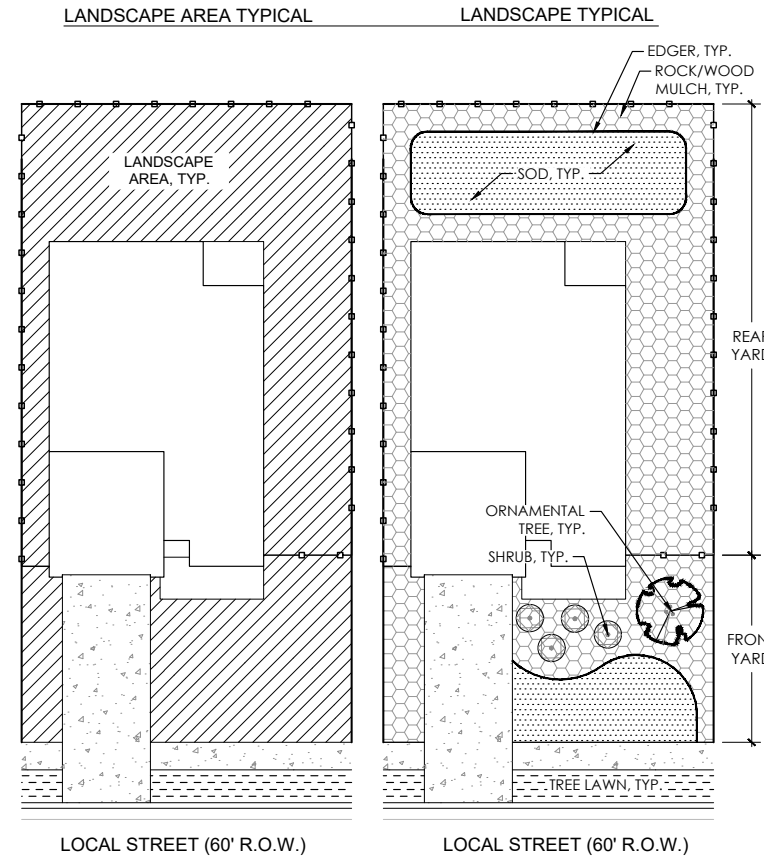
ALLEY LOAD SINGLE-FAMILY ATTACHED LOTS



SINGLE FAMILY ATTACHED LOT LANDSCAPE STANDARDS

1. AT LEAST FOUR (4) SHRUBS WILL BE PLANTED ON EVERY LOT.
2. AT LEAST ONE (1) TREE OF ONE AND ONE-HALF (1 1/2) INCH CALIPER WILL BE PROVIDED FOR EACH SINGLE FAMILY ATTACHED BUILDING IN THE FRONT YARD.
3. TREES REQUIRED IN THE ADJACENT RIGHT-OF-WAY WILL NOT BE USED TO MEET THE LOT STANDARDS.
4. TURF AREAS MAY BE A LOW WATER TURF OR SEED MIX.

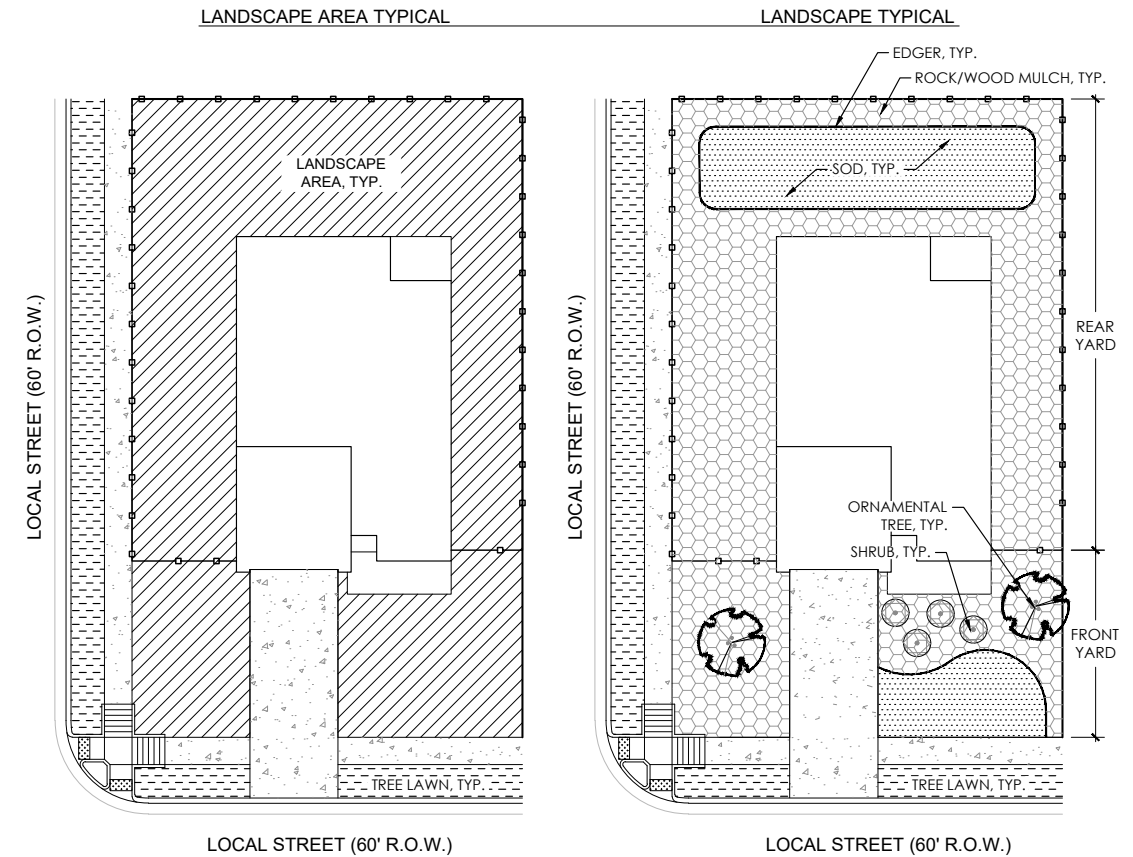
SINGLE-FAMILY DETACHED INTERIOR LOTS



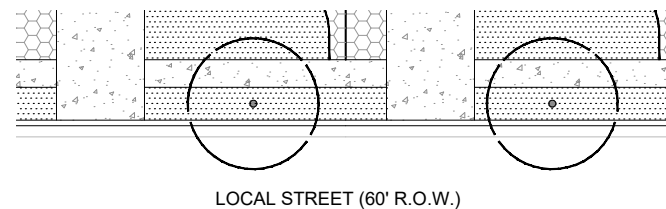
SINGLE-FAMILY RESIDENTIAL LOT LANDSCAPE STANDARDS

1. AT LEAST FOUR (4) SHRUBS WILL BE PLANTED IN THE FRONT YARD OF EVERY LOT.
2. AT LEAST ONE (1) TREE IN THE INTERIOR LOT FRONT YARD, AND TWO (2) TREES IN THE CORNER LOT FRONT YARD OF ONE AND ONE-HALF (1 1/2) INCH CALIPER WILL BE PROVIDED.
3. MAXIMUM 30% OF LANDSCAPE AREA CAN BE TURF.
4. TREES REQUIRED IN THE ADJACENT RIGHT-OF-WAY WILL NOT BE USED TO MEET THE LOT STANDARDS.
5. TURF AREAS MAY BE A LOW WATER TURF OR SEED MIX.
6. REAR YARDS MAY INCLUDE SYNTHETIC TURF

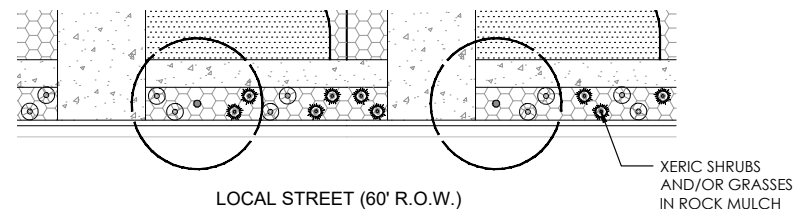
SINGLE-FAMILY DETACHED CORNER LOTS



TREE LAWN TYPICAL - TURF



TREE LAWN TYPICAL - XERIC PLANTING



LEGEND

- CONCRETE
- TURF (NON-SYNTHETIC)
- MULCH (ROCK/WOOD)
- TREE LAWN
- LANDSCAPE AREA
- EDGER

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REVERE NORTH FILING NO. 1 & 2 PRELIMINARY DEVELOPMENT PLAN TOWN OF JOHNSTOWN, COLORADO



LEGEND

- OPEN AREA
- USABLE OPEN AREA
- PARK
- NEIGHBORHOOD TRAIL
- PARK TRAIL

OPEN AREA DATA									
FILING	TOTAL GROSS ACREAGE	OPEN AREA REQUIRED	OPEN AREA PROVIDED	% OF TOTAL ACREAGE	USABLE OPEN AREA REQUIRED	USABLE OPEN AREA PROVIDED	% OF TOTAL ACREAGE	PARK AREA REQUIRED	PARK AREA PROVIDED
REVERE AT JOHNSTOWN FILING NO. 1	73.5	11.0	19.4	26%	7.3	8.4	11%	1.3	3.0
REVERE NORTH FILING NO. 1	107.1***	16.1	33.7	31%	10.7	11.6	11%	1.4	5.7
TOTAL	180.6	27.1	53.1	29%	18.0	20.0	11%	2.7	8.7

*REVERE AT JOHNSTOWN FILING NO. 1 DETENTION PONDS ACCOUNT FOR APPROXIMATELY 3 ACRES OF THE REQUIRED OPEN AREA.

**REVERE NORTH FILING NO. 1 DETENTION PONDS ACCOUNT FOR APPROXIMATELY 7 ACRES OF THE REQUIRED OPEN AREA.

***REVERE NORTH FILING NO. 1 TOTAL GROSS ACREAGE DOES NOT INCLUDE FUTURE DEVELOPMENT TRACTS.

- NOTES:**
- ANY OPEN AREA AND/OR USABLE OPEN AREA THAT IS ABOVE THE REQUIRED SQUARE FOOTAGE MAY BE APPLIED TO FUTURE FILING REQUIREMENTS WITH THE APPROVAL OF THE PLANNING AND DEVELOPMENT DIRECTOR.
 - PER THE GREAT PLAINS VILLAGE ODP, "SINGLE FAMILY DETACHED OR ATTACHED RESIDENTIAL DEVELOPMENT WILL REQUIRE A MINIMUM 15% OPEN AREA."
 - PER THE GREAT PLAINS VILLAGE ODP, "GREAT PLAINS VILLAGE REQUIRES A 10% USABLE OPEN AREA FOR RESIDENTIAL AREAS. FOR PURPOSES OF THIS PUD, THE 10% USABLE OPEN AREA SHALL BE CALCULATED FROM THE TOTAL AREA OF ALL RESIDENTIAL LOTS AND ADJACENT LOCAL ROADWAYS THAT SERVE AS DIRECT ACCESS TO THE RESIDENTIAL LOTS."
 - PER THE GREAT PLAINS VILLAGE ODP, "A MINIMUM OF 1 ACRE OF PARK PER 250 RESIDENTIAL UNITS IS REQUIRED."
 - PER THE GREAT PLAINS VILLAGE ODP, "DETENTION PONDS CAN COUNT TOWARDS USABLE OPEN AREA REQUIREMENTS AS LONG AS THEY MEET THE DEFINITION OF USABLE OPEN AREA PROVIDED IN THIS DOCUMENT. NOT MORE THAN 5% OF THE USABLE OPEN AREA REQUIREMENT CAN BE MET WITH DETENTION PONDS."
 - THE OPEN AREA CALCULATION ABOVE INCLUDES LOT 1/BLOCK 15 (AMENITY SITE) BUT DOES NOT INCLUDE FUTURE DEVELOPMENT TRACTS (TRACTS A, B, C, AND D).



PROJECT NAME

**REVERE NORTH FILING NO. 1 & 2
PRELIMINARY/FINAL DEVELOPMENT PLAN
TOWN OF JOHNSTOWN, COLORADO**

SUBMITTAL DATE: 06-20-2023
REVISION DATE:

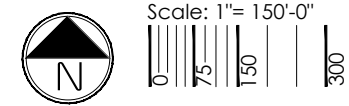
SHEET TITLE

OPEN AREA & TRAILS PLAN

SHEET NUMBER

L.22

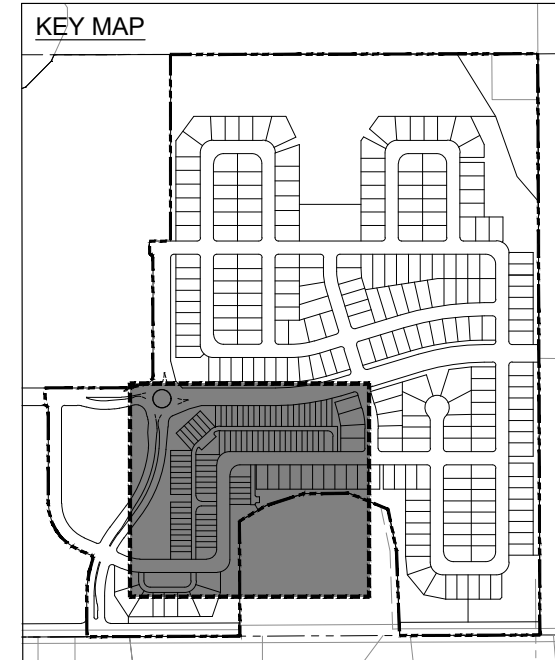
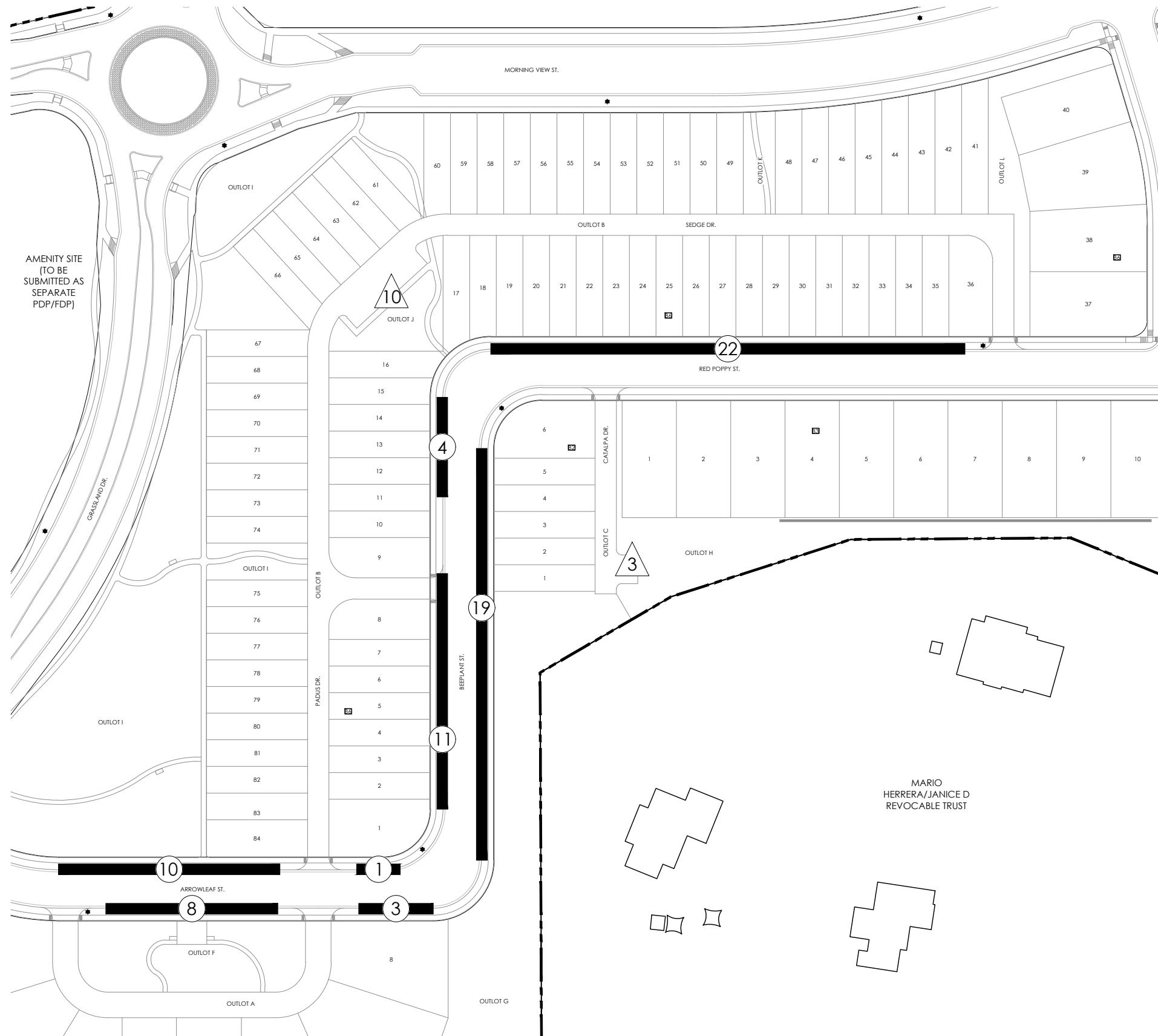
SHEET 32 OF 36



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REVERE NORTH FILING NO. 1 & 2 PRELIMINARY DEVELOPMENT PLAN TOWN OF JOHNSTOWN, COLORADO



LEGEND

- ON-STREET PARKING (SFA)
- OFF-STREET PARKING

SINGLE FAMILY ATTACHED PARKING DATA				
PARKING TYPE	PARKING REQUIRED PER CODE	ADDITIONAL GUEST PARKING (0.5 PER UNIT)	TOTAL PARKING REQUIRED	PARKING PROVIDED
ON-STREET				78
OFF-STREET				13
DRIVEWAY	678	170	848	678
GARAGE				678
TOTAL	678	170	848	1,447

- NOTES:**
- PARKING REQUIREMENTS ARE TWO (2) SPACES PER UNIT.
 - ALL SINGLE FAMILY ATTACHED AND DETACHED UNITS INCLUDE A TWO-CAR GARAGE.
 - ALL SINGLE FAMILY ATTACHED AND DETACHED UNITS HAVE DRIVEWAYS, PROVIDING TWO (2) ADDITIONAL GUEST PARKING SPACES PER UNIT.
 - PARKING ALLOWED ALONG LOCAL STREETS THAT SERVE SINGLE FAMILY DETACHED UNITS.

Scale: 1"= 50'-0"



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TOWN OF JOHNSTOWN, COLORADO

SUBMITTAL DATE:
06-20-2023
REVISION DATE:

SHEET TITLE

PARKING PLAN

SHEET NUMBER

L.24

SHEET 34 OF 36

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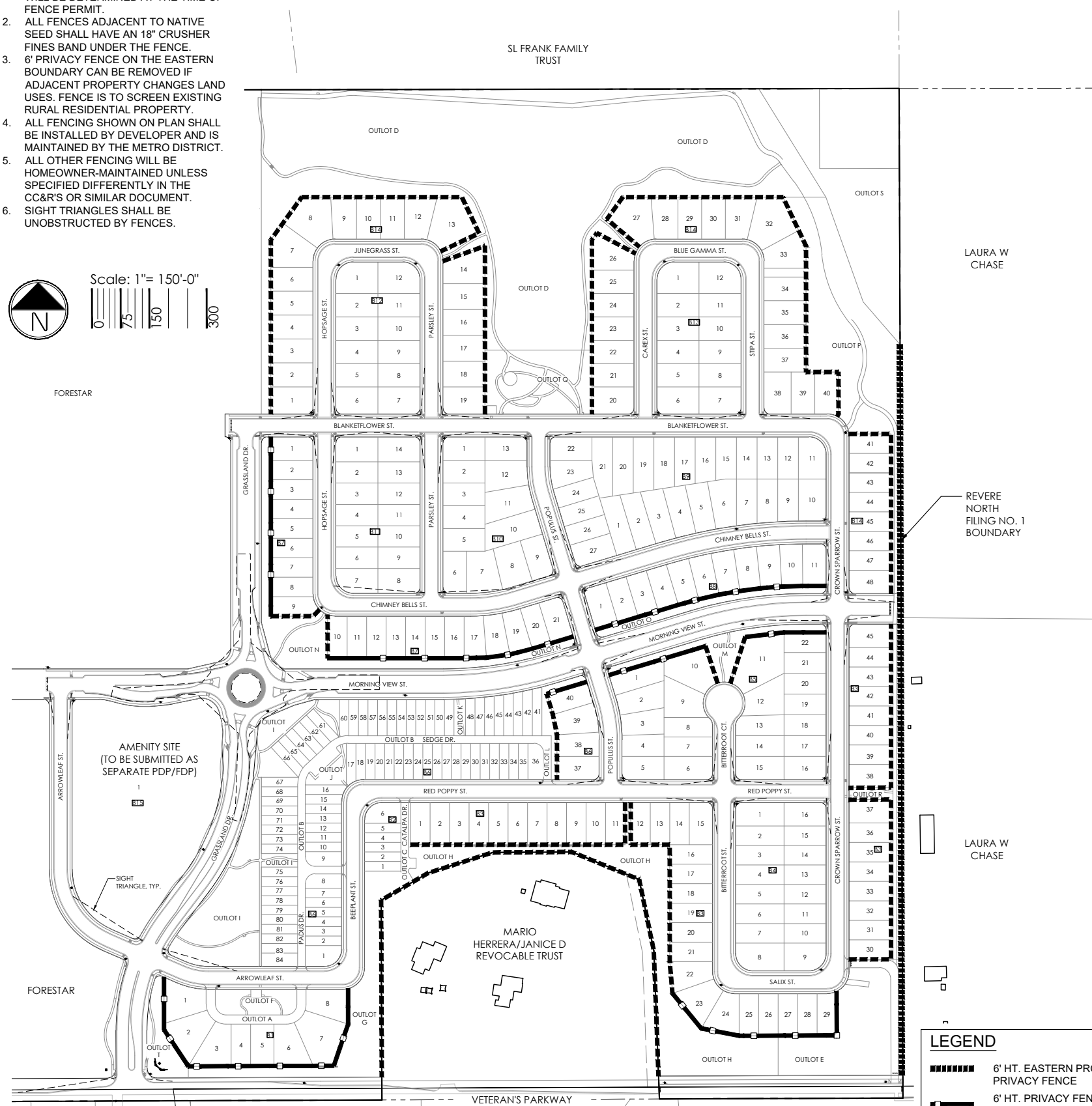
REVERE NORTH FILING NO. 1 & 2 PRELIMINARY DEVELOPMENT PLAN TOWN OF JOHNSTOWN, COLORADO

- NOTES:
1. COLUMN AND CROSS RAIL LOCATIONS WILL BE DETERMINED AT THE TIME OF FENCE PERMIT.
 2. ALL FENCES ADJACENT TO NATIVE SEED SHALL HAVE AN 18" CRUSHER FINES BAND UNDER THE FENCE.
 3. 6' PRIVACY FENCE ON THE EASTERN BOUNDARY CAN BE REMOVED IF ADJACENT PROPERTY CHANGES LAND USES. FENCE IS TO SCREEN EXISTING RURAL RESIDENTIAL PROPERTY.
 4. ALL FENCING SHOWN ON PLAN SHALL BE INSTALLED BY DEVELOPER AND IS MAINTAINED BY THE METRO DISTRICT.
 5. ALL OTHER FENCING WILL BE HOMEOWNER-MAINTAINED UNLESS SPECIFIED DIFFERENTLY IN THE CC&R'S OR SIMILAR DOCUMENT.
 6. SIGHT TRIANGLES SHALL BE UNOBSTRUCTED BY FENCES.



Scale: 1" = 150'-0"

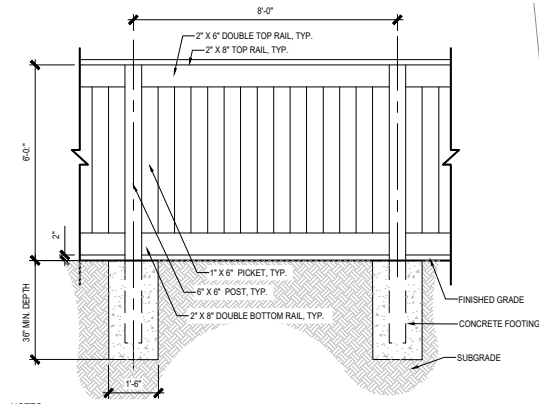
FORESTAR



LEGEND

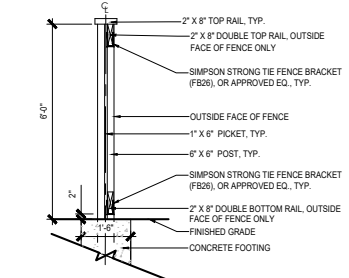
- 6' HT. EASTERN PROPERTY PRIVACY FENCE
- 6' HT. PRIVACY FENCE W/ COLUMNS
- OPEN RAIL FENCE

NOTE: LINETYPES ARE NOT REPRESENTATIVE OF FENCE CONSTRUCTION, INCLUDING COLUMN LOCATIONS.

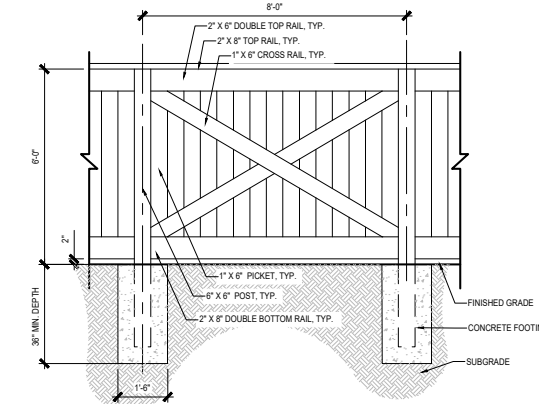


1 6' HT. PRIVACY FENCE
3/8" = 1"
(USE THIS PANEL IN FENCING BETWEEN LOT LINES AND IN FENCING WITH COLUMNS)

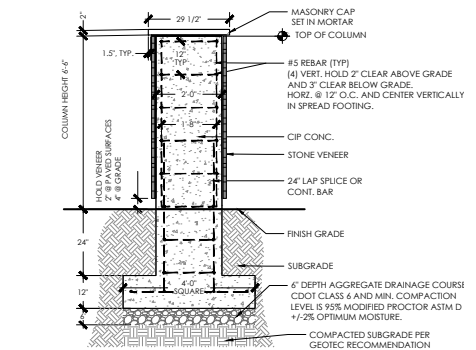
- MATERIAL NOTES:
1. ALL WOOD FOR FENCING SHALL BE PRESSURE TREATED CEDAR AND STAINED.
 2. FENCE COLUMNS STONE VENEER TO BE A SPLIT MODULAR STYLE.



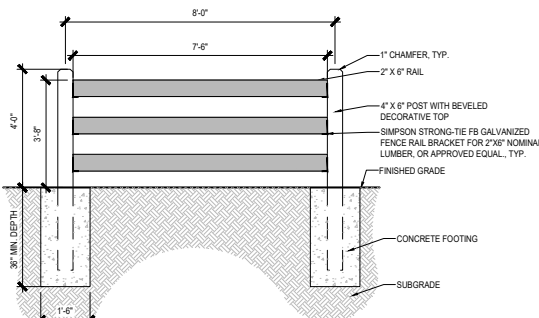
2 6' HT. PRIVACY FENCE SECTION
3/8" = 1"



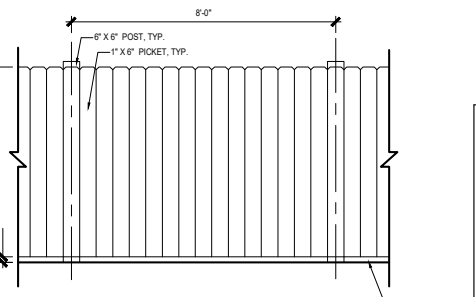
3 6' HT. PRIVACY FENCE WITH CROSS RAIL
3/8" = 1"
(USE THIS PANEL IN FENCING WITH COLUMNS)



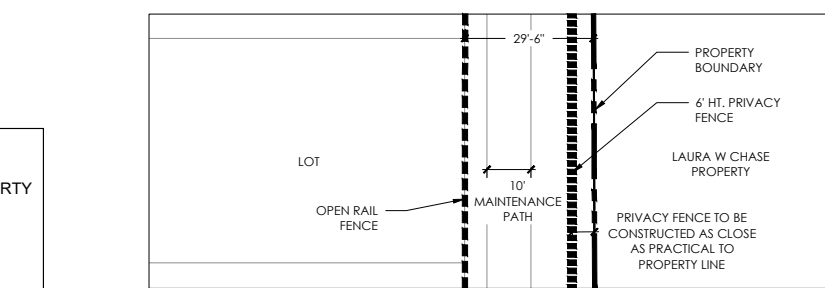
4 FENCE COLUMN
3/8" = 1"



5 OPEN RAIL FENCE
3/8" = 1"
NOTE: OPTIONAL WELDED WIRE MESH TO BE ATTACHED BEHIND RAILS.



6 6' HT. EASTERN PROPERTY PRIVACY FENCE
3/8" = 1"
NOTE: ADD 'NO TRESPASSING' SIGNS EVERY 500 FEET.



7 EASTERN PROPERTY LINE FENCE TYPICAL
1" = 20'-0"

NOT FOR CONSTRUCTION



PROJECT NAME

REVERE NORTH FILING NO. 1 & 2
PRELIMINARY/FINAL DEVELOPMENT PLAN
TOWN OF JOHNSTOWN, COLORADO

SUBMITTAL DATE:
06-20-2023
REVISION DATE:

SHEET TITLE

FENCING PLAN

SHEET NUMBER

L.25

SHEET 35 OF 36

Item 3

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REVERE NORTH FILING NO. 1 & 2
 PRELIMINARY DEVELOPMENT PLAN
 TOWN OF JOHNSTOWN, COLORADO



SINGLE FAMILY DETACHED

- NOTES:
1. ELEVATIONS ARE CONCEPTUAL AND ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.
 2. MODELS AND ELEVATIONS MAY DIFFER, BUT MUST BE APPROVED BY THE TOWN OF JOHNSTOWN.



Know what's below.
 Call before you dig.



PROJECT NAME

REVERE NORTH FILING NO. 1 & 2
 PRELIMINARY/FINAL DEVELOPMENT PLAN
 TOWN OF JOHNSTOWN, COLORADO

SUBMITTAL DATE:
 06-20-2023
 REVISION DATE:

SHEET TITLE

NOT FOR CONSTRUCTION

ARCHITECTURAL
 CHARACTER
 IMAGERY

SHEET NUMBER

L.20

SHEET 30 OF 36

REVERE NORTH FILING NO. 1 & 2
 PRELIMINARY DEVELOPMENT PLAN
 TOWN OF JOHNSTOWN, COLORADO



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PROJECT NAME

REVERE NORTH FILING NO. 1 & 2
 PRELIMINARY/FINAL DEVELOPMENT PLAN
 TOWN OF JOHNSTOWN, COLORADO

SUBMITTAL DATE:
 06-20-2023
 REVISION DATE:

SHEET TITLE

ARCHITECTURAL
 CHARACTER
 IMAGERY

SHEET NUMBER

L.21

SHEET 31 OF 36

- NOTES:
1. ELEVATIONS ARE CONCEPTUAL AND ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.
 2. MODELS AND ELEVATIONS MAY DIFFER, BUT MUST BE APPROVED BY THE TOWN OF JOHNSTOWN.



1 FRONT ELEVATION BUILDING TYPE A
 NTS



2 FRONT ELEVATION BUILDING TYPE B
 NTS



3 FRONT ELEVATION BUILDING TYPE C
 NTS



4 FRONT ELEVATION BUILDING TYPE D
 NTS

SINGLE FAMILY ATTACHED

NOT FOR CONSTRUCTION